

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 21 April 2015	Classification For General Release	
Report of Director of Planning		Wards involved Abbey Road	
Subject of Report	3 Abbey Road, London, NW8 9AY		
Proposal	Reconfiguration and expansion of facilities for music recording and production at No.3 Abbey Road comprising erection of a new recording studio to rear of No.5 Abbey Road; conversion of existing garage building facing Hill Road to form new recording studio and addition of pitched roof structure; new gate to Hill Road frontage of site; enlargement of single storey block adjacent to boundary with Abbey House and erection of extension to accommodate new transformer; erection of single storey extension to rear of Studio 2; use of lower ground floor of No.5 Abbey Road as a gift shop (Class A1) with associated alterations to form access and new landscaping to the front of No.5; installation of new mechanical plant equipment; new landscaping; and internal alterations, including to Studios 2 and 3.		
Agent	Washbourne Field Planning		
On behalf of	Abbey Road Studios		
Registered Number	14/11186/FULL 14/11187/LBC	TP / PP No	TP/7036/7038
Date of Application	04.11.2014	Date amended/ completed	13.02.2015
Category of Application	Minor		
Historic Building Grade	Grade II Listed Building		
Conservation Area	St John's Wood		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	To be confirmed at Committee		

1. RECOMMENDATION

1. Grant conditional permission and conditional listed building consent.

Item No.
12

2. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letter.





Abbey Road Studios, 3 Abbey Road, NW8

Top: Front elevation No.3;
Middle: Front elevation of No.5 Bottom:
Studios elevation in Hill Road

2. SUMMARY

The application seeks permission and listed building consent for reconfiguration and expansion of existing facilities for music recording and production at No.3 Abbey Road (Abbey Road Studios) comprising erection of a new recording studio to rear of No.5 Abbey Road (to allow 'Dolby Atmos' sound recording); alteration of existing garage building facing Hill Road to form new recording studio and addition of pitched roof structure; new gate to Hill Road frontage of site; enlargement of single storey block adjacent to boundary with Abbey House and installation of a new transformer unit; erection of single storey extension to rear of Studio 2; use of lower ground floor of No.5 Abbey Road as a gift shop (Class A1) with associated alterations to form access and new landscape to the front of No.5; installation of new mechanical plant equipment; new landscaping; and internal alterations, including to Studios 2 and 3.

The key issues in this case are:

- The acceptability of enlarging the existing recording studio use in land use terms.
- The impact on character and appearance of the listed building and the setting of the neighbouring St. John's Wood Conservation Area.
- The impact on the amenity of neighbouring residents.
- The impact on neighbouring trees.

The proposed development is considered to be acceptable in land use, design, amenity, environment and transportation terms and, subject to the recommended conditions, would accord with the relevant policies in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies ('the City Plan'). As such, the applications for planning permission and listed building consent are recommended for approval.

3. CONSULTATIONS

CONSULTATION ON INITIALLY SUBMITTED SCHEME (DECEMBER 2014)

COUNCILLOR HALL

Does not object to the principle of improving the studios, but need to ensure that the proposed studio to the Hill Road elevation does not cause a loss of amenity for neighbours. Supports conditions for the gift shop recommended by the St. John's Wood Society, but recommends that the permission for the gift shop is reviewed after one year, not three. Notes the cost to the Council of previous efforts to manage tourists visiting the Abbey Road crossing. Gift shop could provide some focus to draw visitors away from the crossing, but needs to be carefully managed. Gantry/ ramp to provide access to the shop would appear to be long enough to accommodate queues. Suggest that front garden of No.5 could be used to accommodate overspill queues. There should be visible queue management, regular liaison with authorities and a management plan that includes booking visiting slots at busy times. Suggests that the management of the retail unit could be secured via a S106 agreement.

ST. JOHN'S WOOD SOCIETY

Generally does not object to proposals. However, have concerns regarding amenity impact of conversion of garage on Hill Road to a recording studio. Understand desire to have a gift shop, but management of visitors is key to acceptability of this proposal. Current crowd control outside the studio is dangerously inadequate on what is a busy road. Ask that conditions are imposed to limit shop opening hours to 9.30 to 17.30 Monday to Saturday; restrict permission for shop use to three years to serve as a trial period; require shop staff to monitor queuing outside the premises and require separate permission/ consent for any shop signage.

ARBORICULTURAL MANAGER

Recommends serving of a Tree Preservation Order on the tree in the rear garden of No.7 Abbey Road adjacent to proposed Dolby Atmos recording studio.

CLEANSING MANAGER

No objection. Additional waste storage capacity is sufficient.

ENVIRONMENTAL HEALTH

Objection. Insufficient evidence to demonstrate the cumulative impact of the plant in terms of noise. Further details of noise attenuation measures required. Recommend that the retail unit is controlled in terms of the hours of opening and by requiring a management plan. Condition recommended to prevent noise breakout from the new studio.

HIGHWAYS PLANNING MANAGER

Undesirable, but could be considered acceptable. Recommends that a cycle parking space is provided for staff of the proposed retail shop.

THAMES WATER

No objection. General advice provided.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 341; Total No. of Replies: 6.

Six letters/ emails received raising objection on all or some of the following grounds:

Land Use

- Increased commercialisation of a residential area.
- Creation of a recording studio between two residential buildings in Hill Road is inappropriate.

Design

- Shop and associated signage would harm the ambience of the area.
- Increased scale and bulk of the studios buildings.
- Extension to rear of Studio 2 is overdevelopment.

Amenity

- Concern that shop would attract more people further along Abbey Road thereby increasing noise nuisance to neighbours.
- Loss of light from enlargement of garage facing Hill Road to create a recording studio.
- Loss of light and increased sense of enclosure to communal garden of Mortimer Court.
- Noise disturbance from use of garage as a recording studio.
- Noise disturbance from artists gathering outside the new studio in the existing garage and from artists and other staff coming and going from the studio.
- Adverse impact on security of neighbouring properties as there is no on-site security presence.
- Use of garden to rear of No.5 by staff and other users of the studios is contrary to the premises licence for the studios.

Highways/ Parking

- Additional traffic during construction work and following enlargement of the studios.
- Increased pressure on on-street parking.
- Shop customers will cause congestion on the pavement.

Other Issues

- Unconvinced that the shop would help with crowd control outside the studios.

- Note that permission was previously granted for use as additional recording artist facilities.
- Fear that this is a stepping stone to more intrusive development in future.
- Consultation run by the applicant in September 2014 was presented as an 'open day' at the time and not consultation.

ADVERTISEMENT/ SITE NOTICE: Yes.

CONSULTATION ON REVISED SCHEME (MARCH 2015) - AMENDMENTS COMPRISING: (i) AMENDED ARBORICULTURAL METHODOLOGY, (ii) REVISED LANDSCAPING, (iii) PROVISION OF DRAFT CONSTRUCTION MANAGEMENT PLAN, (iv) AMENDMENT OF BULK AND FORM OF EDITING SUITES AND TRANSFORMER BUILDING, (v) REVISION OF MECHANICAL PLANT STRATEGY, (vi) AMENDMENT OF DETAILED DESIGN OF WALL AND RAILINGS TO No.5 ABBEY ROAD, (vii) UPDATED SITE MANAGEMENT REPORT AND (viii) UPDATED DAYLIGHT AND SUNLIGHT REPORT.

WARD COUNCILLORS (ABBAY ROAD)

Any response to be reported verbally.

ST. JOHN'S WOOD SOCIETY

Any response to be reported verbally.

ARBORICULTURAL MANAGER

Objection. Remains concerned about the impact on neighbouring trees to the rear of the site adjacent to the proposed Dolby Atmos studio, both in terms of the proximity of the proposed building to neighbouring trees in the rear garden of No.7 and the impacts of construction. The additional information has allayed earlier concerns regarding the transformer extension adjacent to the boundary with Abbey House. Remains concerned about the impact of the shop entrance works on the TPO tree in the front garden of No.5 Abbey Road. Further details of landscaping are recommended to be secured by condition. Note that the trees in the front gardens of Nos.3, 5 and 7 are subject to TPO's and tree protection conditions should be imposed to protect these trees if permission is granted. Asks the Committee to consider statutory protection of the trees to the rear of No.7 Abbey Road to give effect to planning conditions to control the impact of the development on these trees.

ENVIRONMENTAL HEALTH

No objection. Additional information submitted has overcome initial concerns. Conditions and Informatives recommended.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 341; Total No. of Replies: 1

One letter received raising objection on the following grounds:

Land Use

- Question need for gift shop and not convinced it will reduce tourist on Abbey Road.

Amenity

- No hours of operation are provided for proposed studio in Hill Road. Is intention for it to be in 24 hour, 7 day use?
- The servicing hours of the new studio should be restricted.
- Noise from mechanical plant proposed.
- Noise breakout from within new studio.
- Access to the new studio from Hill road would increase noise disturbance and reduce security for neighbouring occupiers.
- Loss of sunlight to garden to rear of Mortimer Court.
- Note that use of garden of studios causes noise disturbance to neighbours.

Other Issues

- Request that the Committee visit the site to see the relationship of the proposed studio facing Hill Road with neighbouring residential properties.
- Increased obstruction of highway in Hill Road from use of garage as a studio.
- Planting of one tree does not mitigate losses of landscaping and trees that have occurred to date.

4. BACKGROUND INFORMATION

4.1 The Application Site

The application site comprises Nos.3 and 5 Abbey Road, which are in use as Abbey Road Studios. The use of the site as recording studios is historic, having first started in the early 1930s, following modification and extension of the original villa building at No.3 Abbey Road.

Whilst the majority of the site is not located within a conservation area, the building at No.3 Abbey Road is grade II listed, as is the nearby Abbey Road pedestrian crossing. The Studios and the associated zebra crossing in Abbey Road were grade II listed in February 2010. The St. John's Wood Conservation Area borders the site to the front elevation in Abbey Road and to the rear in Hamilton Gardens and Hill Road. The studio garage structure facing Hill Road is located just inside the boundary of the St. John's Wood Conservation Area.

4.2 Relevant History

19 September 2014 – Permission and listed building consent granted for installation of two replacement air conditioning units at roof level (14/06620/FULL & 14/06621/LBC).

24 September 2012 – Planning application withdrawn that proposed the installation for a 12 month period of a "pop up" shop to be located in the front car park and used on an occasional basis (stored off site, when not in use) and for the "shop" to be open for no longer than six weeks for any one period of time. Application withdrawn by the applicant following officer advice that it would be recommended for refusal on design grounds (12/06735/FULL).

19 June 2008 – Permission granted for erection of single storey ground floor level extension and associated excavation of below ground chamber to south east boundary of site with Abbey House to house electrical transformer and LV switch room (08/02655/FULL).

29 March 2007 – Permission granted for renewal of planning permission dated 18 June 2002 (RN: 02/02337) for the erection of rear extension at lower ground and ground floor levels to provide a new control room and artist's lounge ancillary to the main use as a recording studio (07/00837/FULL).

27 May 2002 – Permission granted for renewal of permission dated 17 June 1997 (RN 97/02963) namely for the erection of a rear extension at the lower ground and ground floor levels to provide a new control room and artists lounge ancillary to the main use as a recording studio (02/02337/FULL).

30 May 2001 – Permission granted for alterations during the course of construction to a scheme granted permission 30 January 2001 (RN 0008303) namely construction of staircase enclosure (01/02567/FULL).

30 January 2001 – Permission granted for erection of a two storey extension at lower ground and ground floor level (00/08303/FULL).

17 June 1997 – Permission granted for rear extension at lower ground and ground floor levels to provide new control room and ancillary space (renewal of planning consent RN 913717A) (97/02963/FULL).

15 August 1994 – Permission granted for external alteration to restaurant and beer store, erection of extract duct adjoining tape library (94/04042/FULL).

28 May 1992 – Permission granted for enlargement of existing dormer window & erection of roof fire escape (92/02414/FULL).

9 April 1992 – Permission granted for extension providing control room to studio (91/03717/FULL).

1 June 1989 – Permission granted for extension in height of existing air duct to house a new lift (89/01765/FULL).

5. THE PROPOSAL

The application seeks permission and listed building consent for reconfiguration and expansion of the facilities for music recording and production at No.3 Abbey Road and provision of an associated gift shop in the lower ground floor of No.5 Abbey Road. The applicant contends that these works are necessary to ensure the site continues to be viable as a modern recording studio that can respond to the market demands of the modern recording industry. The application comprises a collection of discrete modifications and extensions to the existing buildings. These are:

- a) The erection of a new recording studio to rear of No.5 Abbey Road (to allow 'Dolby Atmos' recordings), accessed from the existing Studio building at No.3.
- b) Alteration of the existing garage building facing Hill Road to form new recording studio and addition of new pitched roof structure.
- c) Installation of new gate to the Hill Road frontage of site.
- d) Enlargement of the single storey block adjacent to boundary with Abbey House and installation of a new transformer unit.
- e) Erection of a single storey extension to the rear of Studio 2.
- f) Use of the lower ground floor of No.5 Abbey Road as a gift shop (Class A1), with associated alterations to form access and new landscape to the front of No.5.
- g) Installation of new mechanical plant equipment.
- h) Provision of new landscaping.
- i) Internal alterations to the listed building, including to Studios 2 and 3.

6. DETAILED CONSIDERATIONS

6.1 Land Use

6.1.1 Policy Overview and Applicant's Justification

Abbey Road Studios are located in a predominantly residential area and St. John's Wood is not an area where new commercial/ light industrial floorspace would normally be considered favourably, unless the use accords with the requirements of COM9 in the UDP.

Policy COM9 in the UDP sets out that light industrial uses, which include creative industry uses such as recording studios that fall within the Class B1(c) Use Class, '*...will be granted permission were: (1) the proposed use meets local service and employment needs of the residential community and there is no adverse impact on residential amenity; (2) the accommodation is particularly suited to light industrial use by virtue of its design, layout and*

structural condition; (3) the accommodation is retained for light industrial use by planning condition or, where necessary, by legal agreement'.

Policy S18 in the City Plan states that *'Commercial Development will be encouraged and directed to Paddington, Victoria and Tottenham Court Road Opportunity Areas, the Core Central Activities Zone, the Named Streets, the North Westminster Economic Development Area and designated Shopping Centres. Proposals for new commercial uses must be appropriate in terms of scale and intensity of land uses, and character and function of the area'.*

Policy S20 in the City Plan, which is titled 'New Offices and Other B1 Floorspace' confirms that new Class B1 floorspace will be directed to the Opportunity Areas, Core Central Activities Zone, the Named Streets and the North Westminster Economic Development Area.

In this policy context, the expansion of the Studios may not be fully in accordance with adopted policy (see Section 6.1.2). However, the Studios are an iconic and historic use, which have been long associated with this part of the City. Therefore the reconfiguration and extension of the studio buildings to ensure that the use of the site for its historically and culturally significant use could be considered favourably in land use terms, provided the works proposed can be demonstrated to be necessary to secure the long term use of the site as a world class recording studio facility.

The applicant has set out the current application that the proposed scheme is required to ensure that the Studios continue to be at the forefront of the music and film industry. To achieve this, the Studios owners (Universal Music) have identified the need to be able to maintain its core business of music recording and post-production services, whilst also expanding its ability to use the site to service the mainstay of the recording business, which is increasingly related to film and video game scoring and mixing.

The provision new studios and the alterations and improvements to the existing studios and editing suites are intended to support and enhance the Studios ability to continue its core music recording and post-production business. A new Dolby Atmos studio is proposed to ensure that the use of the site for film and video game scoring and mixing can continue and grow on the site. This is particularly important to the long term success of the Studios as it is understood that the Dolby Atmos sound format is set to become the film industry standard for film scoring and recording and a specialist studio space is required to record in this sound format (i.e. existing studios on the site cannot be used to record in this sound format).

In combination with these proposed enhancements to the Studio's core business, the application includes the provision of a gift shop unit in the lower ground floor of No.5 Abbey Road. The applicant identifies that the site is one which is culturally iconic due to its musical associations, particularly with the Beatles. The Studios and the adjacent Abbey Road pedestrian crossing attract a high number of tourists. The applicant considers that the provision of a gift shop would, in addition to providing a useful additional revenue stream for the Studio, provide a focal point for tourists, drawing them away from the pedestrian crossing and reduce the numbers of people congregating outside the site on Abbey Road.

6.1.2 Enlargement of Recording Studio Use

In respect of Policy COM9 in the UDP, the enlargement of the studios would not meet local service need (it services meet a global demand), although it may contribute in part to meeting local employment needs, as referenced at point (1) of the policy. The accommodation was purpose built in the 1930's and has been continually adapted since to ensure that it is suited to its lawful light industrial use as a recording studio and therefore it is considered that the requirement of part (2) of the policy is met. In respect of part (3) of the policy the accommodation is not specifically retained for light industrial use by planning condition or legal

agreement; however, as stated earlier in this report the Studios are an internationally recognised use that are historically and culturally linked to this part of the City. Therefore there is a persuasive argument in favour of facilitating the continuation of the studio use in this location.

The proposed enlargement of the existing Studios would be contrary to Policies S18 and S20 in the City Plan. However, given that the site has historically been used as a recording studio and is historically and culturally important in terms of the identity of the area, it is considered that the modest enlargement of the Studios to ensure that they remain viable in this location within the City (as set out in Section 6.1.1), represents a justifiable exception to these strategic policies. Furthermore, as set out in the preceding paragraph, the proposal is broadly in accordance with the detailed policy, COM9 in the UDP, subject to the impact the scheme would have on the amenity of neighbouring residents. The amenity impact of the scheme is assessed in detail in Section 6.3 of this report.

6.1.3 Provision of Class A1 Retail Shop

The building at No.5 already forms part of the Studio site and currently provides office and storage accommodation for the Studio. The proposal would result in a loss of the existing office accommodation at lower ground floor level and the provision of a retail shop unit at this floor level to serve as a gift shop for the Studio selling associated merchandise.

Strategic Policy S21 in the City Plan seeks to direct new retail floorspace into the designated Shopping Centres (i.e. those identified as Local and District Centres in the UDP).

However, detailed Policy SS10 'New Retail Floorspace in Development Schemes Outside the CAZ' in the UDP does not preclude the provision of new retail accommodation outside of the designated shopping frontages, such as is the case in this location.

The policy requires that new retail units provided in development schemes outside of a District or Local Centre are provided as Class A1 retail shops and that they must not harm the vitality or viability of existing centres. In this case the proposed shop unit would be a Class A1 retail shop and would be a significant distance from the nearest Local Centres (Nugent Terrace and Blenheim Terrace) and the nearest District Centre (St. John's Wood). Furthermore, its purpose is specifically to provide Abbey Road Studios merchandise and therefore it would not detract from or duplicate the retail offer provided in any of these nearby District and Local Centres, which predominantly provide shops and services aimed at local residents.

A condition is though recommended to ensure the retail use is personal to Abbey Road Studios so that the retail unit cannot be used for more general retail purposes, which could detract from the vitality and viability of nearby Local and District Centres. Given the recommended condition, the provision of a shop unit in this location is considered acceptable in land use terms, subject to the assessment of the shop unit in amenity terms later in this report.

6.2 Design and Townscape

The Studio buildings at No.3 Abbey Road are grade II listed and are the subject of a detailed list description that clearly identifies the elements of the building that are of particular significance. The parts of the building that are identified as being of particular significance and importance are the exterior appearance of the original villa building facing Abbey Road and internally, Studios 1 (a large space originally intended for orchestral work) and Studio 2 (originally intended for big bands and smaller orchestras, which was the Beatles preferred studio). Much of the rest of the buildings at No.3 are of lesser importance and have a largely *functional appearance* that is reflective of the use of the building as a functioning recording studio.

Although it forms part of the Studio use, the building at No.5 Abbey Road is not listed. Neither building is located within the St. John's Wood Conservation Area, although both are visible in views from the St. John's Wood Conservation Area along Abbey Road.

The proposed scheme comprises a collection of individually discrete alterations and extensions to the existing buildings and therefore the design impacts of the various proposed works are best considered separately under the following headings in this section of the report.

6.2.1 Dolby Atmos Studio Extension and Associated Alterations

The proposed extension adjacent to side of Studio 2 and to the rear of No.5 Abbey Road to accommodate a Dolby Atmos recording studio is considered acceptable in principle in design and listed building terms. It is noted that an extension to Studio 2 has previously been approved in this location in 1997, 2002 and 2007; albeit that extension was never built and the permission has since lapsed. The extension now proposed would be angular in form, as necessitated by the required dimensions of the Dolby Atmos studio; however, it would be seen against the similarly angular forms of the existing historic extensions to the rear of No.3 Abbey Road. In this context, the bulk and form of this extension is acceptable in design terms.

The extension would be faced in brickwork to match the existing adjacent Studio structures, with a frameless glazed link structure between it and the existing Studio buildings. The glazed link structure has been modified during the course of the application to remove an associated canopy and is now a smaller and less cluttering structure than was initially proposed. The applicant has proposed planting between Nos.3 and 5 Abbey Road, including a new tree and climbing planting to the side of the studio structure so that the view between Nos.3 and 5 Abbey Road continues to be of greenery and tree canopies, as it is at present. A condition is recommended to ensure that this improved landscaping scheme is delivered as part of the development.

6.2.2 Studio 2 Internal and External Alterations

The internal works to Studio 2 are relatively minor and mainly comprise alterations to internal window and door openings between the studio and neighbouring rooms associated with it. A spiral staircase within the studio up to existing mezzanine level is also proposed. These alterations would have little impact on the internal appearance of the studio and as such are acceptable in listed building terms.

Externally, it is proposed to erect a small single storey extension to the rear of Studio 2 to provide additional storage space. The external appearance of Studio 2 is of lesser importance to the special interest of the Studios as a listed building and this modest extension, which would replicate the appearance of existing store rooms to the rear of Studio 2 would not harm the character or appearance of the listed building.

6.2.3 Studio 3 Internal Alterations

Studio 3 is of less historic significance and is a relatively modern studio in comparison to Studios 1 and 2. As such, the proposed internal alterations to this studio, to extend the studio into the front rooms of the original villa building, are not considered to be contentious in listed building terms.

6.2.4 Conversion of Garage to Recording Studio facing Hill Road

The Studios have a garage and associated forecourt area facing Hill Road, between No.1 Hill Road and Mortimer Court, which is currently used for storage, including storage outside

broadcast equipment. The storage is to be relocated and the garage structure altered to form an additional studio by amending the facades and adding a pitched roof.

The existing garage structure is of no particular architectural or historical interest and the alterations proposed are considered to be acceptable in design terms. The addition of a pitched roof would give the structure a more domestic appearance than is currently the case. However, it is recommended that a condition is imposed requiring aluminium sheet clad roof to be omitted in favour of a slate roof.

Associated alterations to install new timber gates at the boundary with Hill Road would improve the appearance of the site in views along Hill Road and therefore the proposed gates are uncontentious in design terms. A condition is recommended to secure a detailed drawing of the gates to ensure that their appearance is appropriate in this location, just within the boundary of the St. John's Wood Conservation Area.

6.2.5 Retail Unit Alterations

To facilitate the creation of the proposed retail unit it is proposed to alter the means of access from the public highway to the lower ground floor of No.5 Abbey Road. A jib style door is proposed within the front boundary at the entrance to the shop unit, so that it would appear as a continuation of the boundary wall and railings when closed. This would provide access to a ramped access to lower ground floor level formed next to a replacement boundary wall between the front forecourt of No.3 Abbey Road and the front of No.5 Abbey Road. This would also serve as a step free exit for ambulant disabled persons. The exit from the shop unit would be via the existing front lightwell steps and front entrance gate.

The alterations proposed to the front of No.5 Abbey Road would minimise the extent of the physical alterations required to this building to accommodate a shop unit at lower ground floor. The use of a jib style gate and reuse of the existing entrance archway to serve as the separate entrance and exit from the shop would prevent the need for more extensive alteration to the front boundary and front garden area, which would adversely affect the prominent symmetry of the semi-detached buildings at Nos.5 and 7 Abbey Road.

The replacement of the existing boundary wall between Nos.3 and 5 Abbey Road is not considered to be contentious in design or listed building terms.

Two condenser units are proposed to the rear of No.5 Abbey Road; however, these would be discreetly located below the height of the boundary wall with No.3 and would have no adverse impact on the appearance of the building.

6.2.6 Extension to Boundary with Abbey House

The proposed extension at the boundary with Abbey House would accommodate a new transformer unit to serve the Studios. It is also proposed to modify the existing structure that is set against the boundary with Abbey House to increase the internal floor to ceiling height so that it can be used as a studio and control room, and to add a glazed canopy so that the building can be accessed from the main Studio building whilst still undercover. Additional plant is proposed on the roof of the altered structure behind a raised front parapet.

The proposed transformer room extension would be set back behind the existing front building line of the original villa building facing Abbey Road and would be no higher than the boundary wall with Abbey House. The extension would be partially below the level of the front forecourt and a planter is proposed in front of it to further soften its appearance in views from Abbey Road.

Whilst the adaptation of the existing building on this part of the site would increase its height, it would remain subordinate to the main villa building. The increase in height of the parapet to the altered building would provide a screen in front of the existing retained plant and new plant that is proposed at roof level.

A condition is recommended to require the studio and transformer extension to be finished in smooth render, rather than stippled/ textured render, as is currently proposed. This is due to the proximity of this extension to the main Abbey Road façade of the original villa building at No.3, which is finished in smooth white render. The finish of the proposed extension should be consistent with this historically significant part of the listed building, which it will be seen in context with in public views.

The glazed canopy would be set down at lower ground floor level and significantly set back from the front building line. Accordingly it would not have any adverse impact on the appearance of the listed building.

6.2.7 Mechanical Plant

The application includes a number of items of mechanical plant across the various elements of the existing and extended buildings that comprise the Studios. It appears that these have been located so as to minimise their impact on the appearance of the building. Where necessary the mechanical plant is located within acoustic enclosures and further screened (such as on the roof of the extension at the boundary with Abbey House), to limit public views of the plant. For these reasons the proposed mechanical plant strategy to serve the enlarged and altered Studios is considered to be acceptable in principle in design and listed building terms. A condition is recommended to secure further details of the appearance of the various acoustic screens and enclosures to ensure that their detailed design is appropriate.

6.2.8 Design Summary

In summary, the proposed alterations and extensions are considered to be acceptable in design and listed building terms, subject to the conditions set out in the draft decision letter. The proposals are in accordance with DES1, DES5, DES6, DES9 and DES10 in the UDP and S25 and S29 in the City Plan.

6.3 Amenity

6.3.1 Daylight and Sunlight

The applicant has submitted a daylight and sunlight assessment in support of the application, which assesses the scheme in the context of the Building Research Establishment (BRE) guidelines 2011. Officers are content on the basis of this report and on-site assessment that the proposed alterations and extensions would not cause a material loss of daylight to neighbouring windows or a material loss of sunlight to neighbouring windows and gardens. Accordingly, in this regard the proposals would accord with Policy ENV13 in the UDP and S28 in the City Plan.

6.3.2 Sense of Enclosure/ Overshadowing

The extension of the existing building at the boundary with Abbey House would incorporate a lower section of roof adjacent to the lightwell to the side elevation of Abbey House and this is sufficient to ensure that the windows within the lightwell, which do not appear to serve habitable rooms, would not suffer a significant increase in enclosure.

The enlargement of the roof of the existing garage structure facing Hill Road would increase the bulk of this structure at roof level. There are windows in the neighbouring side elevations

of No.1 Hill Road and Mortimer Court, some of which but not all, appear to serve habitable rooms. Notwithstanding this, the proposed sloping roof structure would be relatively modest in scale and located sufficiently distant from these neighbouring windows so as not to cause a significantly increased sense of enclosure.

The other alterations and extensions proposed, including the rear extension to Studio 2 and the proposed Dolby Atmos studio to the rear of No.5 Abbey Road would be sufficiently distant from neighbouring windows so as not to cause an unacceptable increase in enclosure.

Accordingly in sense of enclosure terms the proposals would accord with Policy ENV13 in the UDP and Policy S29 in the City Plan.

6.3.3 Overlooking

The proposed extensions have very few windows, by virtue of the nature of their use and therefore none of the extensions proposed would give rise to a loss of privacy for neighbouring residents. As such, in overlooking terms the scheme accords with Policy ENV13 in the UDP and Policy S29 in the City Plan.

6.3.4 Noise Disturbance – Mechanical Plant

The scheme includes the provision of new mechanical plant in association with the new extensions to provide mechanical ventilation to these studio spaces, which by the nature of their purpose cannot be naturally ventilated. The application also includes some rationalisation of existing mechanical plant to the rear of the proposed Dolby Atmos studio extension and on the roof of the extended block at the boundary with Abbey House.

The mechanical plant strategy for the site has been amended during the course of the application to address initial concerns raised by Environmental Health and to ensure that the submitted drawings show the noise attenuation measures required to make the mechanical plant operate in accordance with the Council's plant noise policies; namely, Policies ENV6 and ENV7 in the UDP and Policy S32 in the City Plan.

Following revision, Environmental Health have confirmed that they are now satisfied that the mechanical plant proposed would accord with the aforementioned policies and that the proposed mechanical plant would operate at a level of 10dB or more below the background noise level outside the nearest noise sensitive properties. Conditions are recommended to ensure that the plant continues to operate in accordance with these policies and to ensure that the necessary acoustic enclosures around the plant units are installed.

6.3.5 Amenity Impact of Retail Shop Use

The operation of the retail shop unit is a key consideration in amenity terms due to the proximity of the proposed shop to neighbouring residential properties, particularly those within No.7 Abbey Road, and the potential for the shop unit to be heavily used at busy times.

In terms of the layout of the shop unit, the proposed entrance and exit have deliberately been designed to keep customers away from the boundary of No.5 Abbey Road with No.7 Abbey Road and railings are proposed within the front lightwell/ garden area to reinforce this separation. To the rear, the existing doors to the rear garden area are to remain shut at all times and the garden area is not to be made available to customers of the shop unit. A condition is recommended to ensure this is the case.

Allied to these physical elements of the design of the proposed shop unit, it is imperative that the hours of opening of the shop and the management of the premises, including any queuing outside the shop at busy times is well managed. Therefore a condition is recommended to

restrict the hours of opening of the shop to between 09.30 and 17.30 hours Monday to Saturday and 10.00 to 16.00 hours on Sundays. The applicant is seeking opening hours on Sundays of between 10.00 and 17.30 hours; however, these are considered to be excessively long on a day when neighbouring residents can reasonably expect noise and disturbance to be reduced relative to other days of the week.

Councillor Hall and the St. John's Wood Society have object to the principle of opening of the shop on Sundays; however, it is considered that the Sunday opening hours proposed by officer's strike a reasonable balance between the operation of the proposed shop and the amenity of neighbouring residents.

The applicant is seeking later opening hours (to 19.00 hours) in summer months; however, this is not considered to be reasonable given the predominantly residential nature of the area. Later hours, such as those proposed by the applicant, would have the potential to cause excessive noise and disturbance to neighbours as a result of customers entering and exiting the shop unit at a time of day when background noise is typically reduced.

The applicant has submitted a shop management plan as part of a retail management report accompanying the application. This confirms that in the unlikely event of queuing outside the shop premises queues will be accommodated on the Studios forecourt at No.3 Abbey Road. At busy periods a member of staff will be provided to ensure that customers move promptly in to and out of the retail unit. The member of staff will also supervise and manage any queuing, if this is necessary.

The management plan confirms that as per existing deliveries to the site, shop deliveries will be made between 08.00 and 22.00 hours Monday to Saturday and that these will be unloaded off-street on the Studio forecourt area. Conditions are recommended to restrict deliveries to the shop to these hours and require that servicing occurs on the forecourt.

The management plan references that music is to be played within the shop unit and a condition is recommended to ensure this is not audible outside the shop unit.

Finally a condition is recommended to require the submission of an updated standalone management plan that does not form part of wider retail report and reflects the conditions recommended in this report. Subject to the recommended conditions, the proposed shop unit would have a significantly impact on the amenity of neighbouring residents and the shop unit would therefore accord with Policies ENV6 and S10 in the UDP and Policies S32 and S29 and S32 in the City Plan.

Councillor Hall and the St. John's Wood Society are seeking a condition restricting the shop use to a temporary period of three years to allow its impact on the amenity of neighbours to be reviewed at that stage. However, it is not considered that such a condition is necessary given the suite of other conditions that are recommended to control the operation of the shop unit, including granting permission for the shop unit on a personal basis to the Studios (see Section 6.1).

6.3.6 Amenity Impact of Use of Existing Garage as a Recording Studio

The use of the existing Studios garage facing Hill Road as a recording studio does not constitute a material change of use, as the garage already comprises ancillary storage accommodation serving the existing recording studio use of the site. Notwithstanding this, the intensification of use of the garage as a result of its use as a recording studio does raise legitimate amenity concerns due to the proximity of the garage structure to neighbouring residential properties. This is reflected in the objections on this ground received from occupiers of Mortimer Court and No.1 Hill Road. The concerns expressed by the occupiers of No.1 Hill Road are heightened as there is no boundary wall between the Studios site and the

side elevation of No.1 (i.e. the side elevation of No.1 forms the boundary with the garage forecourt area and side passage through to the rear of studios 1 and 2).

The concerns raised relate to the prospect that the use of the altered garage building as a recording studio would lead to an increase in noise disturbance as a result of users of the studio coming and going from the new studio and congregating outside the studio between recording sessions. Concerns have also been expressed in relation to the impact of this part of the scheme on the security of neighbouring properties.

In terms of the access to the new studio, it is proposed that it will be accessed via Hill Road and not from within the existing Studio buildings. This is so that noise from persons passing the rear of No.1 Hill Road is minimised. A condition is recommended to require this recording studio to be accessed from Hill Road via the front entrance to the building and that the rear escape door is only used in emergencies. The hours of servicing of the new studio are proposed to be between 08.00 and 22.00 hours and a condition is recommended to restrict the servicing of this studio to between those hours.

Objectors cite that during breaks in recording in studio 2, the rear exit from this studio, which faces the rear of No.1 Hill Road, is used by artists to congregate outside. The objectors are concerned that this adverse impact on neighbouring residents will be exacerbated by the use of the garage as an additional studio in close proximity to No.1 Hill Road. It is important to note that this allegation is refuted by the applicant; nevertheless, this is a valid concern given that the new studio is to be made available for 24 hour use. As such, it is recommended that a management plan in relation to the operation of the new studio is secured, so that noise disturbance to neighbours is prevented so far as is reasonably possible.

In respect of security, it is considered that the current proposals represent a modest improvement on the existing situation, as timber gates would be reintroduced at the boundary with Hill Road; thereby preventing unrestricted access (as is currently possible) to the new studio building, the front garden of No.1 Hill Road and the side passageway between No.1 and the rear of the Studios site.

In terms of noise disturbance from the use of the garage as a studio (i.e. noise breakout from within the studio), this can be dealt with by a condition which requires the building to be suitably insulated to prevent noise disturbance to neighbouring occupiers. This condition is also recommended in respect of the new studio proposed within the block adjacent to Abbey House.

6.4 Transportation/ Parking

In highways terms the loss of the existing garage is not objectionable as there are no planning conditions to prevent its loss. Notwithstanding this, the on-site parking for commercial uses is not protected by policy.

As set out in Section 6.3.5, the servicing of the proposed retail shop would occur off-street on the front forecourt of the Studios and this would accord with Policy TRANS20 in the UDP and Policy S42 in the City Plan.

The Highways Planning Manager raises concern regarding the provision of cycle parking. However, the existing cycle parking is to be relocated as part of the scheme. A condition is recommended to ensure the cycle parking is reprovided. It would be unreasonable as part of this application to require the applicant to provide additional cycle parking in relation to the existing studio floorspace. Therefore the Highways Planning Manager's request for additional cycle parking cannot be supported.

6.5 Economic Considerations

As set out in Section 6.1 of this report, the economic benefits of the long term retention of Abbey Road Studios on this site is welcomed.

6.6 Equalities and Diversities (including Access)

Existing access to the Studios would not be altered by the current application. Step free access is provided via the side entrance at lower ground floor.

The proposed shop unit would incorporate a ramped entrance, which can also be used as an exit for those requiring step free entry and egress. Given the constraints in design and arboricultural terms, this arrangement is considered to be acceptable in access terms.

6.7 Other UDP/Westminster Policy Considerations

Objectors have raised concerns that the Studios regularly breach the licensed hours of use of the rear garden area between Nos.3 and 5 Abbey Road and that as a consequence, the Studios cause noise disturbance to neighbouring residents. However, there are no planning conditions or planning controls that would restrict the use of this outside space, which forms part of the Studio use and therefore, current application could not reasonably be refused on the basis of noise disturbance from the existing rear garden area. Indeed, the provision of a new studio over part of the garden area, as proposed by the current application, would serve to reduce the size of the rear garden area, thereby reducing the extent of noise disturbance that its use could cause in future.

For information purposes Premises Licensing have been asked to clarify the current licensing position regarding the use of the garden area and this will be reported verbally to the committee.

6.8 London Plan

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

6.9 National Policy/ Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

The proposed development is of insufficient scale to require any planning obligations.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

6.11.1 Arboricultural Impact

The proposed Dolby Atmos studio building would be in close proximity to the trunk of the Horse Chestnut tree and other trees (a Plane and a Cherry) located within the garden of No.7 Abbey Road along the boundary with the application site.

The studio would be particularly close to the Horse Chestnut with the end elevation of the studio directly behind the existing boundary wall, which itself abuts the trunk of this tree. The dimensions of the studio itself cannot be altered as the internal proportions of the studio are critical to the ability of the studio to record music in the Dolby Atmos sound format. As a result, measures are proposed to accommodate the existing tree, whilst delivering a studio of the necessary dimensions. The measures comprise building the studio on a raised floor level that sits on piles to allow water and air to reach the root system of neighbouring trees and incorporation of a 'cut out' at roof level to accommodate the lower limbs of the tree.

The Arboricultural Manager has significant concerns regarding the proximity of the Dolby Atmos studio to these trees, particularly the Horse Chestnut and is of the opinion that these trees may be harmed by the proposed studio and associated works to the rear of No.5 Abbey Road. She is of the opinion that a number of these trees are of a worthy of statutory protection. However, none of these trees are currently the subject of a Tree Preservation Order and they are not located within a conservation area. Accordingly, none of the trees are currently protected from being removed without permission and therefore permission could not reasonably be withheld on the basis of their loss, were this to occur as a result of this development. In this context, the Arboricultural Manager's concerns in respect of the impact on these trees, whilst understandable, cannot be supported.

The extension at the southern boundary of the site with Abbey House to accommodate a new transformer for the Studios would be relatively close to two TPO Lime trees in the front garden of Abbey House. The extension requires some excavation to accommodate the transformer extension below the height of the adjacent boundary wall. The Arboricultural Manager has advised that following the provision of additional information, which demonstrate that the excavation proposed is relatively modest, she is satisfied that the works to construct the transformer extension can be accommodated without significant harm to neighbouring trees.

The works to create step free access to the proposed retail unit in the lower ground floor of No.5 Abbey Road and rebuild the boundary wall with No.3 would necessitate some excavation work within the root protection area (RPA) of the TPO Lime tree in the front garden of No.5. These level changes within 3 metres of the trunk of the tree are of concern to the Arboricultural Manager despite trial excavations, which the applicant describes as having only found only small roots in the proposed areas of excavation. The Arboricultural Manager considers the photographs of the trial excavation that was undertaken show a high density of fine roots in the trench and that therefore the Lime tree is using this area for rooting. Consequential she believes that the impact of the proposal on this tree would be greater than that anticipated by the applicant.

In the case of this TPO Lime tree, it is accepted that the proposed development may have some adverse impacts, for the reasons identified by the Arboricultural Manager. However, given the limited extend and depth of the level changes proposed, it is unlikely that the impact on the tree would be so great as to result in its loss. In this context, it is considered that the

benefits of facilitating step free disabled access to the lower ground floor shop unit outweighs the adverse impact on this adjacent tree.

A condition is recommended to secure full details of tree protection measures during construction works, including a programme of arboricultural supervision to ensure that harm to neighbouring trees is minimised. Subject to the recommended condition, and notwithstanding the objections raised by the Arboricultural Manager, the proposals are not considered to be sufficiently detrimental to neighbouring trees so as to justify refusal of permission under Policy 16 in the UDP, given the identified wider benefits arising from the scheme.

6.11.2 Landscaping

Following the Arboricultural Manager's initial comments on the application, further details of replacement and additional landscaping have been submitted and these respond to her initial concerns regarding the formality of the planting and the over use of pleached trees. In principle the proposed landscaping, following revision, would enhance the landscaping on the site and increase the extent to which the street frontage of the site is planted, both at Nos.3 and 5 Abbey Road. The courtyard garden between Nos.3 and 5 would remain predominantly hard landscaped, but with new low level planting, climbers to the wall of the Dolby Atmos studio and a new tree to further screen the Dolby Atmos studio in glimpsed street views. A condition is recommended requiring further details of the landscaping and to ensure that new landscaping is provided as part of the development, particularly the new tree planting and climbing planting to the front elevation of the Dolby Atmos studio.

6.12 Other Matters

A draft construction management plan (CMP) has been submitted. This identifies that the main site access during construction would be via the side passageway at No.5 Abbey Road, with part of the front forecourt given over to construction works to allow for storage of materials and waste. Construction deliveries are also to be handled on-site on the front forecourt. This would reduce the extent to which the public highway would be used for construction purposes.

Whilst the submitted CMP is useful as a tool to gauge the impact of the construction works, it is not sufficiently detailed to meet the normal policy requirements and therefore a condition is recommended requiring the submission and approval of a finalised CMP prior to the commencement of the development.

7. CONCLUSION

For the reasons set out in this report, the proposed alterations and extension are considered to be acceptable in land use, design and conservation, amenity, transportation and environment terms and would accord with the relevant policies in the UDP and the City Plan. As such, the application is recommended for approval subject to the conditions set out in the draft decision letter.

BACKGROUND PAPERS

1. Application forms

RESPONSES TO INITIAL CONSULTATION (NOVEMBER 2014)

2. Email from Councillor Hall dated 11 March 2015.
3. Email from the St. John's Wood Society dated 18 December 2014.
4. Email from Thames Water dated 1 December 2014.
5. Memo from the Cleansing Manager dated 3 December 2014.

6. Memo from the Highways Planning Manager dated 21 January 2015.
7. Memo from the Arboricultural Manager dated 26 January 2015.
8. Memos from Environmental Health dated 4 February 2015 and 11 March 2015.
9. Email from the occupier of 73 Mortimer Court, Abbey Road dated 21 November 2014.
10. Email from the occupier of 21 Neville Court, Abbey Road dated 24 November 2014.
11. Email from the occupier of 5a Mortimer Court, Abbey Road dated 2 December 2014.
12. Email from the occupier of 9 Mortimer Court, Abbey Road dated 3 December 2014.
13. Letter from the occupier of 1C Hill Road dated 9 December 2014.
14. Letter and attachments from the occupier of Flat B, 1 Hill Road dated 1 January 2015.

CONSULTATION ON REVISED SCHEME (MARCH 2015)

15. Memo from Environmental Health dated 18 March 2015.
16. Memo from the Arboricultural Manager dated 8 April 2015.
17. Letter from the occupier of 1C Hill Road dated 17 March 2015.
18. Email from the occupier of 4 Mortimer Court, Abbey Road dated 4 April 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT OLIVER GIBSON ON 020 7641 2680 OR BY E-MAIL – ogibson@westminster.gov.uk

DRAFT DECISION LETTER

Address: 3 Abbey Road, London, NW8 9AY

Proposal: Reconfiguration and expansion of facilities for music recording and production at No.3 Abbey Road comprising erection of a new recording studio to rear of No.5 Abbey Road; conversion of existing garage building facing Hill Road to form new recording studio and addition of pitched roof structure; new gate to Hill Road frontage of site; enlargement of single storey block adjacent to boundary with Abbey House and erection of extension to accommodate new transformer; erection of single storey extension to rear of Studio 2; use of lower ground floor of No.5 Abbey Road as a gift shop (Class A1) with associated alterations to form access and new landscaping to the front of No.5; installation of new mechanical plant equipment; new landscaping; and internal alterations, including to Studios 2 and 3.

Plan Nos: (00)-001, (00)-002, (00)-003, (00)-004, (00)-005, (00)-006, (00)-007/P1, (00)-008/P1, (00)-009/P4, (00)-010/P1, (00)-011/P1, (00)-012/P1, (00)-015/P1, (00)-016/P1, (00)-017, (20)-01-099/P1, (20)-01-100/P1, (20)-01-101/P1, (20)-01-300/P2, (20)-01-301/P1, (20)-01-400/P2, (20)-01-401/P1, (20)-01-700, (20)-02-099, (20)-02-100, (20)-02-101, (20)-02-300, (20)-03-100, (20)-03-300, (20)-04-200/P1, (20)-04-300/P1, (20)-04-400/P1, (20)-05-099/P1, (20)-05-100/P1, (20)-05-300/P1, (20)-05-301/P1, (20)-05-400/P1, (20)-06-099/P1, (20)-06-100/P2, (20)-06-300/P3, (20)-06-400/P3, (ME)-002, (ME)-002/P3, (ME)-004/P1, (ME)-005/P1, (ME)-006/P1, (ME)-007/P2, (ME)-008/P2, (ME)-009/P1, (ME)-010/P1, (ME)-011/P1, (ME)-012/P1, (ME)-013, Planning, Design and Access Statement dated November 2014 (as appended by letter from Washbourne Field Planning dated 13 February 2015, Historic Building Appraisal and Statement of Significance dated January 2014, Heritage Impact Assessment dated September 2014, Noise Impact Assessment dated 6 February 2015 (Rev.7 - version submitted on 16 March 2015), Landscape Design Proposal document dated February 2015 (containing drawings LA/101, LA 103, LA/104, LA/107, LA/537, LA/P110 and montage of view from Mortimer Court), Arboricultural Impact Assessment and Method Statement dated 11 February 2015 (ref: 14001-AIA4-AS) and drawing 14001-BT3, Retail Management Report dated November 2014 (Version 1.0), Daylight and Sunlight Impact Assessment (Rev.N2), Abbey Road Studios Site Management Report (v2) dated February 2015, Statement of Consultation dated November 2014 (Rev.A) and Draft Construction Management Plan (for information - see Condition ##).

Case Officer: Oliver Gibson

Direct Tel. No. 020 7641 2680

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

* between 08.00 and 18.00 Monday to Friday;

- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 **Pre Commencement Condition.** Notwithstanding the submitted construction management plan, no development shall take place, including any works of demolition, until a detailed construction management plan for the proposed development has been submitted to and approved in writing by the City Council as local planning authority. The detailed plan shall provide the following details:
- (i) a construction programme including a 24 hour emergency contact number;
 - (ii) parking of vehicles of site operatives and visitors (including measures taken to ensure satisfactory access and movement for existing occupiers of neighbouring properties during construction);
 - (iii) locations for loading/unloading and storage of plant and materials used in constructing the development;
 - (iv) erection and maintenance of security hoardings (including decorative displays and facilities for public viewing, where appropriate);
 - (v) wheel washing facilities and measures to control the emission of dust and dirt during construction; and
 - (vi) a scheme for recycling/disposing of waste resulting from demolition and construction works.

You must not start work until we have approved what you have sent us. You must then carry out the development in accordance with the approved details.

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007.

- 4 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 5 Only Abbey Road Studios can carry out the Class A1 retail shop use of the lower ground floor of No.5 Abbey Road. No one else may benefit from this permission in respect of the retail shop use of the lower ground floor of No.5 Abbey Road. (C06AA)

Reason:

Because of the special circumstances of this case we need to control future use of the premises

if the Abbey Road Studios retail shop use leaves. This is as set out in SS10 and ENV6 of our Unitary Development Plan that we adopted in January 2007 and S29 and S32 of Westminster's City Plan: Strategic Policies that we adopted in November 2013. (R06AB)

- 6 You must keep the rear doors of the Class A1 retail unit in the lower ground floor of No.5 Abbey Road shut at all times and you must not allow customers of the retail shop to enter the garden area to the rear between Nos.3 and 5 Abbey Road at any time. You can however use the doors and rear garden area to escape in an emergency.

Reason:

To protect the privacy and environment of people in neighbouring properties, as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21AC)

- 7 Customers shall not be permitted within the retail shop premises in the lower ground floor of No.5 Abbey Road before 09.30 or after 17.30 on Monday to Saturday and before 10.00 or after 16.00 on Sundays. (C12BD)

Reason:

To protect the environment of people in neighbouring properties as set out in S21, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6, ENV 7 and SS 10 of our Unitary Development Plan that we adopted in January 2007. (R12AC)

- 8 You must only service the retail shop use between the hours of 08.00 and 22.00 daily and the retail shop servicing shall be carried out on the forecourt of No.3 Abbey Road.

Reason:

To protect the environment of people in neighbouring properties and minimise disruption to the public highway as set out in S21, S29, S32 and S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6, SS 10 and TRANS 20 of our Unitary Development Plan that we adopted in January 2007. (R12AC)

- 9 You must not play live or recorded music within the retail shop premises in the lower ground floor of No.5 Abbey Road that is audible outside the shop premises and you must not play live or recorded music in the front garden area outside the retail shop premises at No.5 Abbey Road. (C13IA)

Reason:

To protect the environment of people in neighbouring properties as set out in S21, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and SS 10 of our Unitary Development Plan that we adopted in January 2007. (R12AC)

- 10 Notwithstanding the retail shop management plan contained within the Retail Management Report dated November 2014 (Version 1.0), you must apply to us for approval of an expanded shop management plan that identifies the measures to be taken to prevent the shop use (i) causing noise and disturbance to neighbouring residents and (ii) causing obstruction of the public highway. You must not open the retail shop use hereby approved until we have approved what you send us. You must then operate the retail shop use in accordance with the shop management plan that we approve, unless or until we approve an alternative shop management plan.

Reason:

To protect the environment of people in neighbouring properties as set out in S21, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and SS 10 of our Unitary Development Plan that we adopted in January 2007. (R12AC)

- 11 You must apply to us for approval of detailed drawings showing the following alteration to the scheme: Omission of the aluminium cladding to the pitched roof of the new recording studio facing Hill Road and replacement with a slate clad pitched roof. You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C26UB)

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the St. John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

- 12 You must not use the rear door to the new recording studio facing Hill Road, except in an emergency when it can be used as a means of escape.

Reason:

To protect the environment of people in neighbouring properties as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R12AC)

- 13 The new recording studio facing Hill Road shall be serviced between 08.00 and 22.00 hours and the servicing shall be carried out on the forecourt of the studio premises in Hill Road.

Reason:

To protect the environment of people in neighbouring properties and minimise disruption to the public highway as set out in S21, S29, S32 and S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6, SS 10 and TRANS 20 of our Unitary Development Plan that we adopted in January 2007. (R12AC)

- 14 Notwithstanding the submitted Abbey Road Studios Site Management Report (v2) dated February 2015, you must apply to us for approval of an expanded management plan in respect of the new recording studio facing Hill road that identifies the measures to be taken to prevent the use of the recording studio causing noise and disturbance to neighbouring residents. You must not use new recording studio facing Hill Road hereby approved until we have approved what you send us. You must then operate the recording studio facing Hill Road in accordance with the management plan that we approve, unless or until we approve an management plan.

Reason:

To protect the environment of people in neighbouring properties as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R12AC)

- 15 The design and structure of the development shall be of such a standard that it will protect residents in adjoining buildings from noise and vibration from the development, so that they are

not exposed to noise levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night.

Reason:

As set out in ENV6 of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at section 9.76, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the same or adjoining buildings from noise and vibration from elsewhere in the development.

- 16 You must apply to us for approval of detailed drawings at a scale of 1:20 or larger of the following parts of the development:

- (a) the new timber vehicular gates to the Hill Road frontage of the Studios site.
- (b) the new gates to the front boundary of No.5 Abbey Road.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building and to make sure the development contributes to the character and appearance of the St. John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26FD)

- 17 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:
- (a) A schedule of all plant and equipment that formed part of this application;
 - (b) Locations of the plant and machinery and associated: ducting; attenuation and damping

equipment;

(c) Manufacturer specifications of sound emissions in octave or third octave detail;

(d) The location of most affected noise sensitive receptor location and the most affected window of it;

(e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;

(f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;

(g) The lowest existing L A90, 15 mins measurement recorded under (f) above;

(h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;

(i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 18 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 19 Prior to operation of each item of mechanical plant hereby approved you must install any associated acoustic screen or enclosure shown on the drawings hereby approved (as may be amended by details submitted pursuant to Condition 25 attached to this decision letter). Thereafter you must permanently retain the acoustic screens and enclosures hereby approved unless or until the mechanical plant to which the screen or enclosure is related is permanently removed from the building.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 20 You must provide each cycle parking space shown on the approved drawings prior to occupation. Thereafter the cycle spaces must be retained and the space used for no other purpose without the prior written consent of the local planning authority.

Reason:

To provide cycle parking spaces for people using the development as set out in TRANS 10 of our Unitary Development Plan that we adopted in January 2007.

- 21 Notwithstanding the submitted landscaping scheme, you must apply to us for approval of detailed drawings of a hard and soft landscaping scheme which includes the number, size, species and position of trees and shrubs (including at least one tree in the townscape gap between Nos.3 and 5 Abbey Road and climbing planting to the front of the Dolby Atmos studio). You must not start work on the relevant part of the development until we have approved what you have sent us. You must then carry out the landscaping and planting within one planting season of completing the development (or within any other time limit we agree to in writing).

If you remove any trees that comprise part of the landscaping scheme that we approve or find that they are dying, severely damaged or diseased within 5 years of planting them, you must replace them with trees of a similar size and species. (C30CB)

Reason:

To improve the appearance of the development, to make sure that it contributes to the character and appearance of the neighbouring St. John's Wood Conservation Area, and to improve its contribution to biodiversity and the local environment. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R30CD)

- 22 **Pre Commencement Condition.** Notwithstanding the submitted tree protection details, you must apply to us for approval of a method statement explaining the measures you will take to protect the trees on and close to the site, which includes full details of on-site arboricultural supervision of the construction works. You must not start any demolition, site clearance or building work, and you must not take any equipment, machinery or materials for the development onto the site, until we have approved what you have sent us. You must then carry out the work according to the approved details.

Reason:

To make sure that the trees on the site are adequately protected during building works. This is as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 (A), ENV 16 and ENV 17 of our Unitary Development Plan that we adopted in January 2007. (R31AC)

- 23 You must provide the climbing planting to the north east elevation of the Dolby Atmos studio and the new tree in the townscape gap between Nos.3 and 5 Abbey Road that we approve under Condition 21 prior to occupation of the new Dolby Atmos studio. Thereafter, you must permanently retain the climbing planting and new tree in accordance with the details that we approve under Condition 21.

Reason:

To improve the appearance of the development, to make sure that it contributes to the character and appearance of this part of the St. John's Wood Conservation Area, and to

improve its contribution to biodiversity and the local environment. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R30CD)

- 24 You must apply to us for approval of samples of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 25 You must apply to us for approval of detailed drawings at a scale of 1:20 or larger of the following parts of the development: all new acoustic enclosures and screens. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 26 Notwithstanding the annotations on the approved drawings, the extended recording studio and transformer room extension at the south eastern boundary with Abbey House must be finished in smooth white render and thereafter retained in this colour and finish.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

- 2 You will need to re-apply for planning permission if another authority or council department asks you to make changes that will affect the outside appearance of the building or the purpose it is used for. (I23AA)
- 3 Under the Highways Act 1980 you must get a licence from us before you put skips or scaffolding on the road or pavement. It is an offence to break the conditions of that licence. You may also have to send us a programme of work so that we can tell your neighbours the likely timing of building activities. For more advice, please phone our Highways Licensing Team on 020 7641 2560. (I35AA)
- 4 You are encouraged to join the nationally recognised Considerate Constructors Scheme. This commits those sites registered with the Scheme to be considerate and good neighbours, as well as clean, respectful, safe, environmentally conscious, responsible and accountable. For more information please contact the Considerate Constructors Scheme directly on 0800 783 1423, siteenquiries@ccscheme.org.uk or visit www.ccscheme.org.uk.
- 5 You are advised to permanently mark the plant/ machinery hereby approved with the details of this permission (date of grant, registered number). This will assist in future monitoring of the equipment by the City Council if and when complaints are received.
- 6 Conditions control noise from the approved machinery. It is very important that you meet the conditions and we may take legal action if you do not. You should make sure that the machinery is properly maintained and serviced regularly. (I82AA)
- 7 This development has been identified as potentially liable for payment of the Mayor of London's Community Infrastructure Levy (CIL). Responsibility for paying the levy runs with the ownership of the land, unless another party has assumed liability. We will issue a CIL Liability Notice to the landowner or the party that has assumed liability with a copy to the planning applicant as soon as practicable setting out the estimated CIL charge.
If you have not already done so you must submit an **Assumption of Liability Form** to ensure that the CIL liability notice is issued to the correct party. This form is available on the planning portal at <http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil>
Further details on the Mayor of London's Community Infrastructure Levy can be found on our website at: <http://www.westminster.gov.uk/services/environment/planning/apply/mayoral-cil/>.
You are reminded that payment of the CIL charge is mandatory and there are strong enforcement powers and penalties for failure to pay.
- 8 You should ensure that the details you submit to satisfy the construction management and tree protection conditions are prepared in conjunction with each other, as adequate protection of trees on and adjacent to the site will rely heavily on an appropriate means of construction
- 9 Some of the trees on and adjacent to the site are protected by a Tree Preservation Order. You must get our permission before you do anything to them. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I30AA)

DRAFT DECISION LETTER

Address: 3 Abbey Road, London, NW8 9AY

Proposal: Reconfiguration and expansion of facilities for music recording and production at No.3 Abbey Road comprising erection of a new recording studio to rear of No.5 Abbey Road; conversion of existing garage building facing Hill Road to form new recording studio and addition of pitched roof structure; new gate to Hill Road frontage of site; enlargement of single storey block adjacent to boundary with Abbey House and erection of extension to accommodate new transformer; erection of single storey extension to rear of Studio 2; use of lower ground floor of No.5 Abbey Road as a gift shop (Class A1) with associated alterations to form access and new landscaping to the front of No.5; installation of new mechanical plant equipment; new landscaping; and internal alterations, including to Studios 2 and 3.

Plan Nos:

Case Officer: Oliver Gibson

Direct Tel. No. 020 7641 2680

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the St. John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 3 You must apply to us for approval of detailed drawings showing the following alteration to the scheme: Omission of the aluminium cladding to the pitched roof of the new recording studio facing Hill Road and replacement with a slate clad pitched roof. You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C26UB)

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the St. John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 4 You must apply to us for approval of detailed drawings at a scale of 1:20 or larger of the following parts of the development:

- (a) the new timber vehicular gates to the Hill Road frontage of the Studios site.
- (b) the new gates to the front boundary of No.5 Abbey Road.
- (c) the spiral staircase and associated access spaces within Studio 2 that are referred to in paragraph 2.20 of the Heritage Impact Assessment dated September 2014.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 5 You must apply to us for approval of samples of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 6 You must apply to us for approval of detailed drawings at a scale of 1:20 or larger of the following parts of the development: all new acoustic enclosures and screens. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 7 Notwithstanding the annotations on the approved drawings, the extended recording studio and transformer room extension at the south eastern boundary with Abbey House must be finished in smooth white render and thereafter retained in this colour and finish.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

Informative(s):

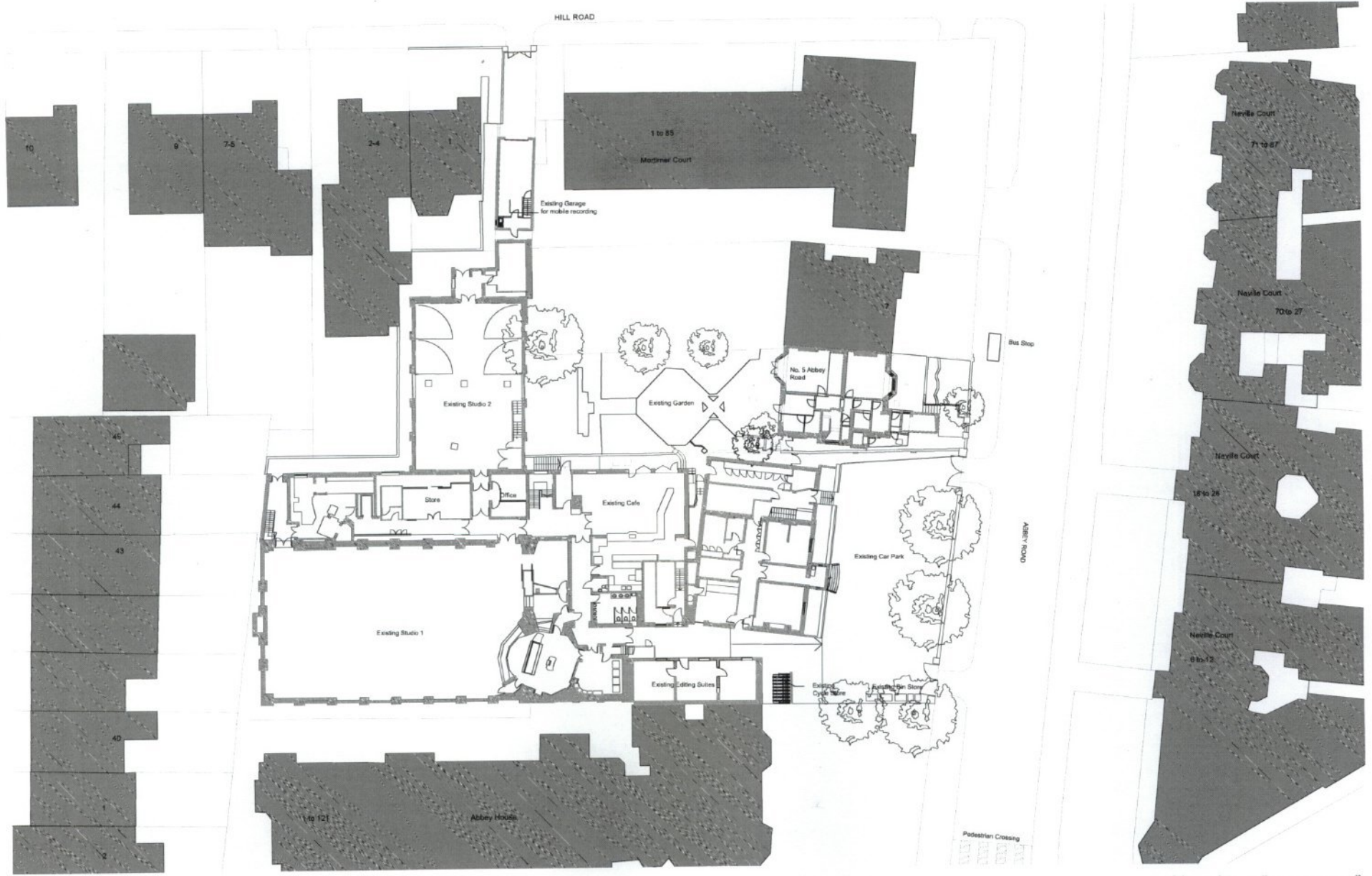
- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT - In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework March 2012, the London Plan July 2011, Westminster's City Plan: Strategic Policies adopted November 2013, and the City of Westminster Unitary Development Plan adopted January 2007, as well as

relevant supplementary planning guidance, representations received and all other material considerations.

The City Council decided that the proposed works would not harm the character of this building of special architectural or historic interest.

In reaching this decision the following were of particular relevance:

S25 and S28 of Westminster's City Plan: Strategic Policies and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.



Aros

Aros Architects
Jarwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall verify any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing supersedes all previous issues of the same drawing number with an earlier revision date.
5. The Contractor shall immediately inform Aros Ltd. of the effect upon the program and costs of any alterations to the proposed work shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

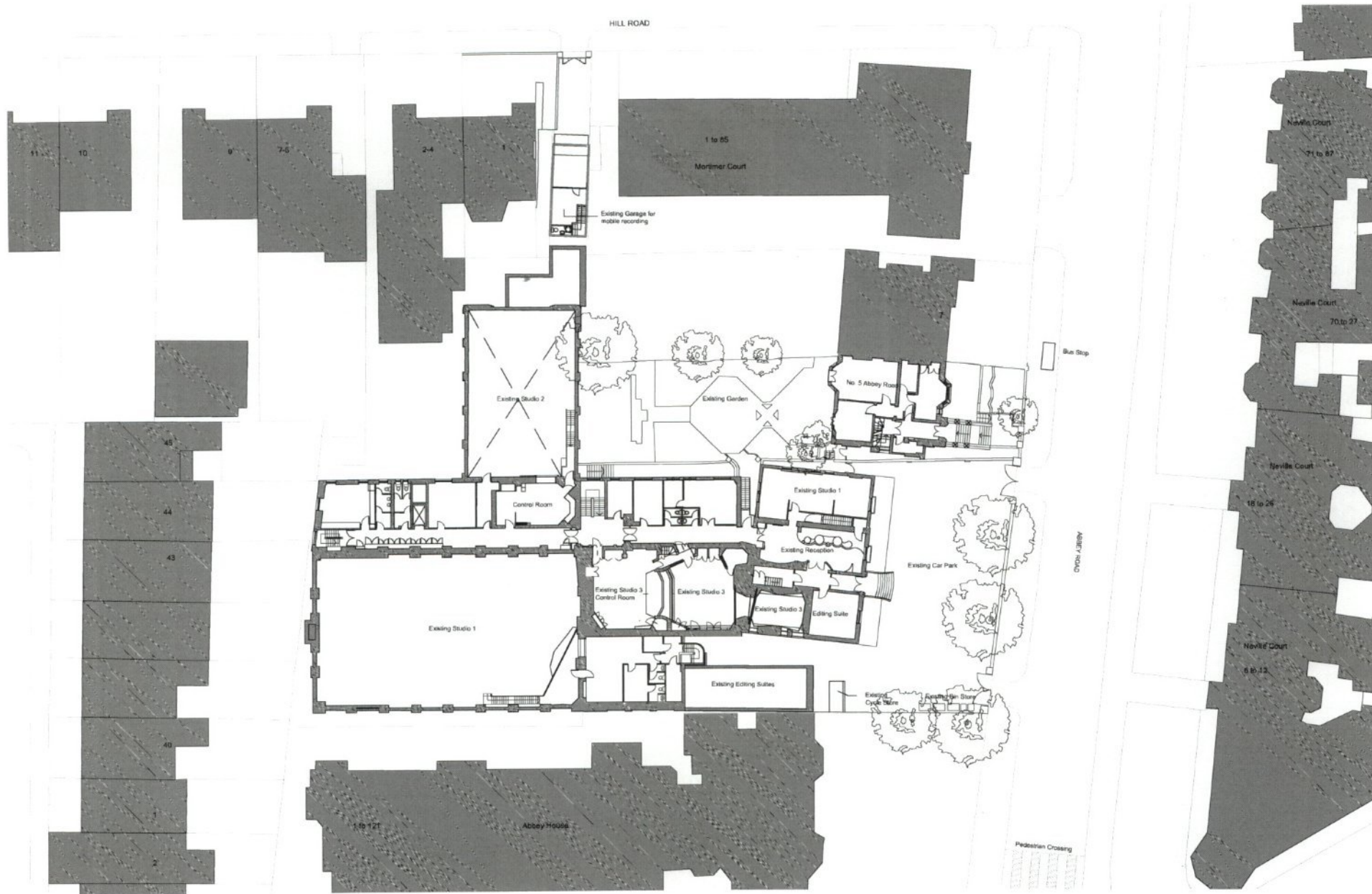
Revisions

Rev.	Date	Drawn	Checked	Description

Project
No.3 - 5 Abbey Road Studios
Title
No 3 and No. 5 Abbey Road
Existing Lower Ground Plan

Project No
5693
Date
October 2014
Status
Planning

Drawing No
(00)-003
Scale
1:200@A1 / 1:400@A3
Rev
/



Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing represents all previous issues of the same drawing, reader refer to earlier versions of work.
5. The Contractor shall immediately notify Aros Ltd of the other upon the programme and costs of any alterations to the drawings unless shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

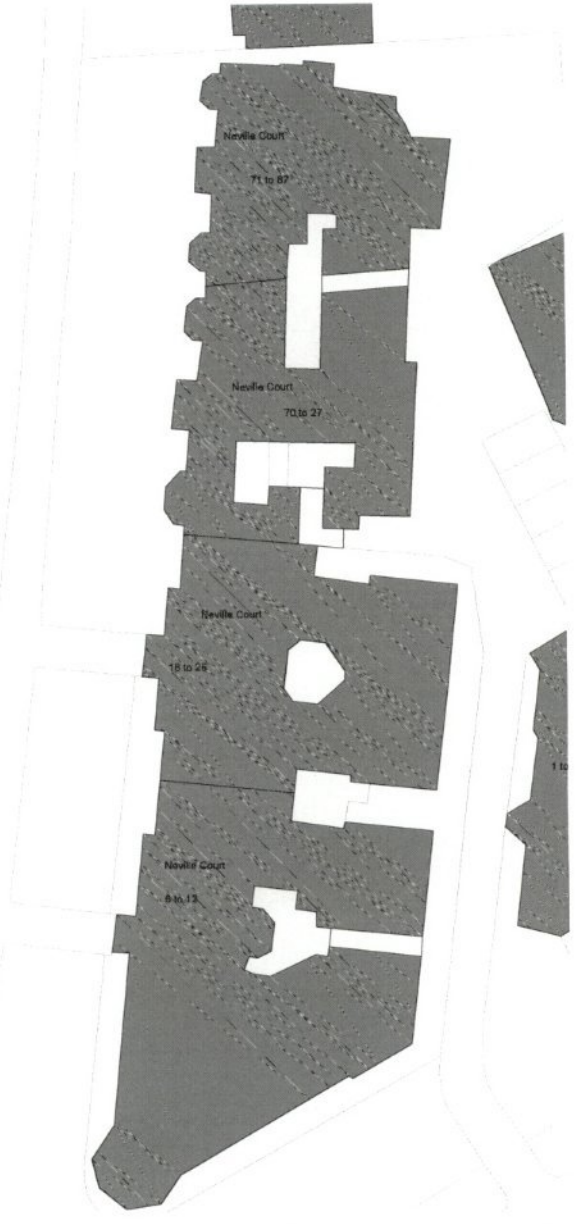
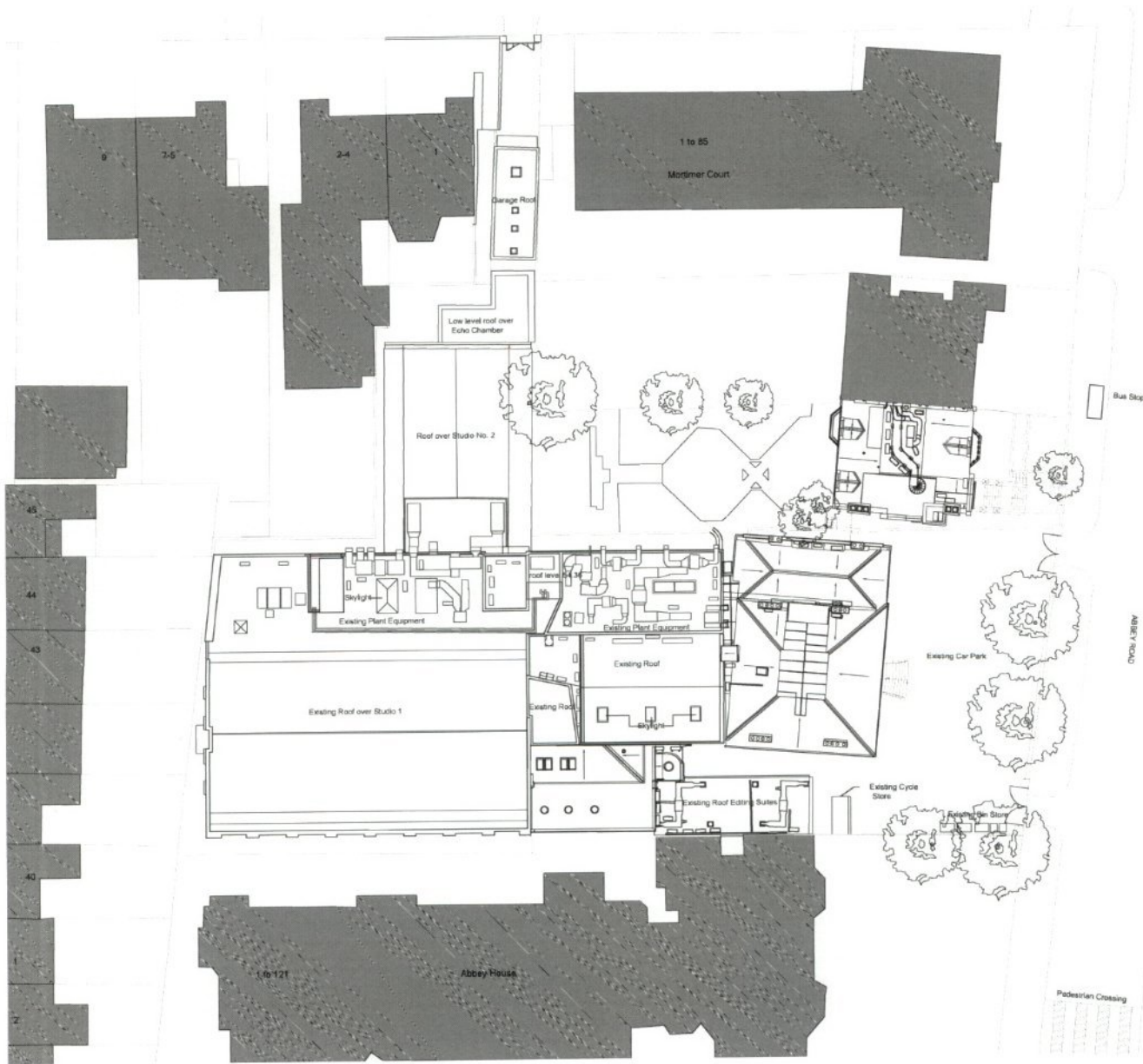
Revisions

No.	Date	By	Check No.	Check Date

Project
No.3 - 5 Abbey Road Studios
Title
No 3 and No. 5 Abbey Road
Existing Ground Level Plan

Project No
5693
Date
October 2014
Status
Planning

Drawing No
(00)-004
Scale
1:200@A1 / 1:400@A3
Rev
/



Aros

Aros Architects
 Jerwood Space
 171 Union Street
 London SE1 0LN

Telephone
 +44(0)20 7928 2444
Facsimile
 +44(0)20 7928 2450

Email
 info@arosarchitects.com
Website
 www.arosarchitects.com

- Notes**
- All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
 - The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
 - The Contractor shall ensure that all work is completed in accordance with the specifications and standards of the drawings.
 - This drawing is the property of Aros Ltd and the Contractor shall not be allowed to sublet or use it for any other purpose without prior agreement.

Revisions

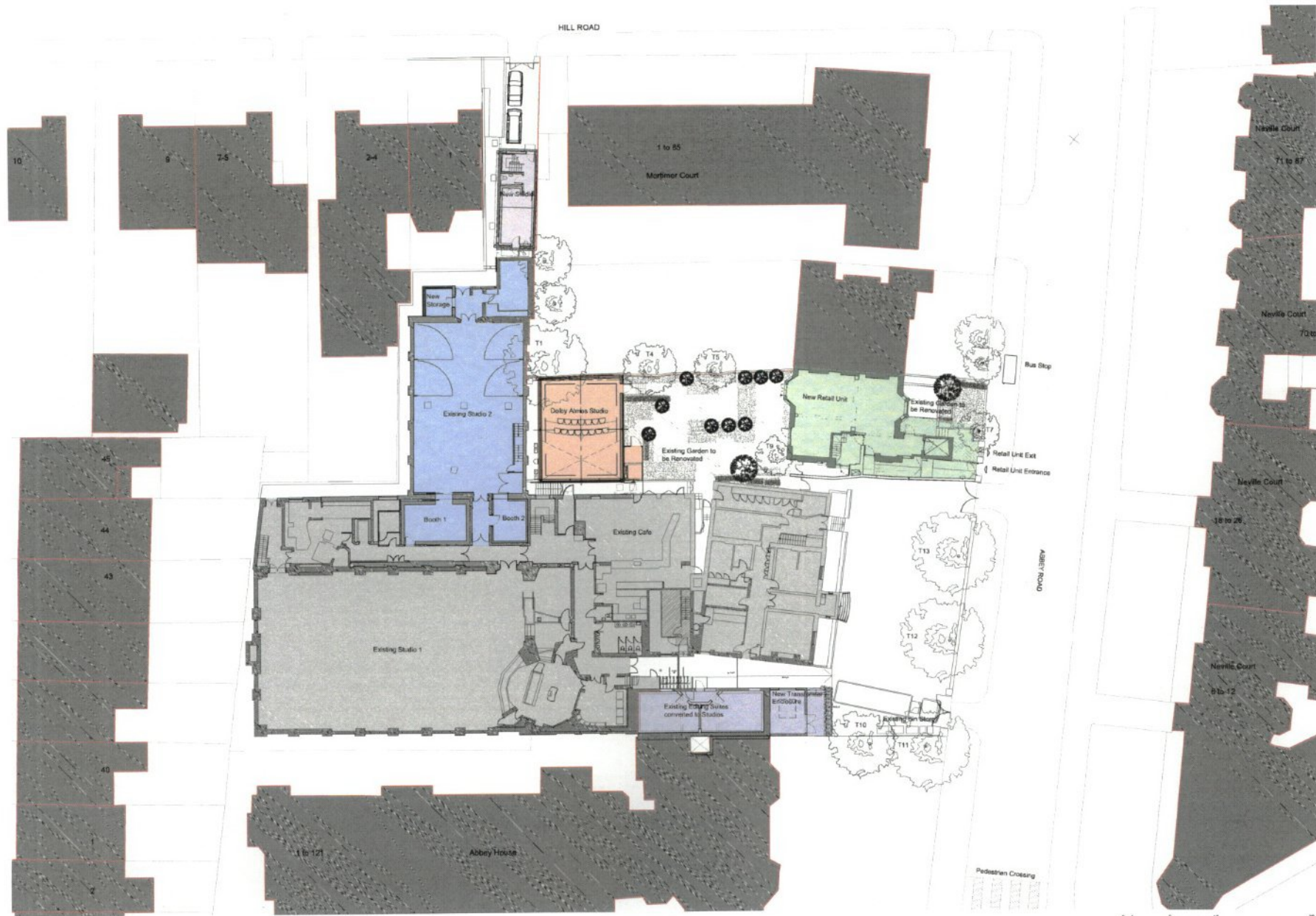
Rev	Date	By	Checked	Description

Project
 No. 3 - 5 Abbey Road Studios
Title
 No 3 and No. 5 Abbey Road
 Existing Roof Level Plan

Project No
 5693
Date
 October 2014
Status
 Planning

Drawing No
 (00)-005
Scale
 1:200@A1 / 1:400@A3
Rev
 /





BUILDING LEGEND

	Dolby Atmos Studio
	Studio 2
	Studio 3
	The Garage / Outside Broadcast Studio facing onto Hill Road
	Retail Shop
	Existing Suite Transformer Enclosure
	Existing Buildings

NOTE

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barrel Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.



Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 1DN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall not start any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing supersedes all previous issues of the same drawing together with all earlier revision sheets.
5. The Contractor shall immediately inform Aros Ltd. of the effect upon the programme and costs of any alterations to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions

Rev	Date	By	Checked	Description
P1	15/02/11	RCH	ML	Transformer enclosure revised, Tree numbers clarified

Project
No.3 - 5 Abbey Road Studios

Title
No 3 and No. 5 Abbey Road
Proposed Lower Ground Plan

Project No

5693

Date

October 2014

Status

Planning

Drawing No

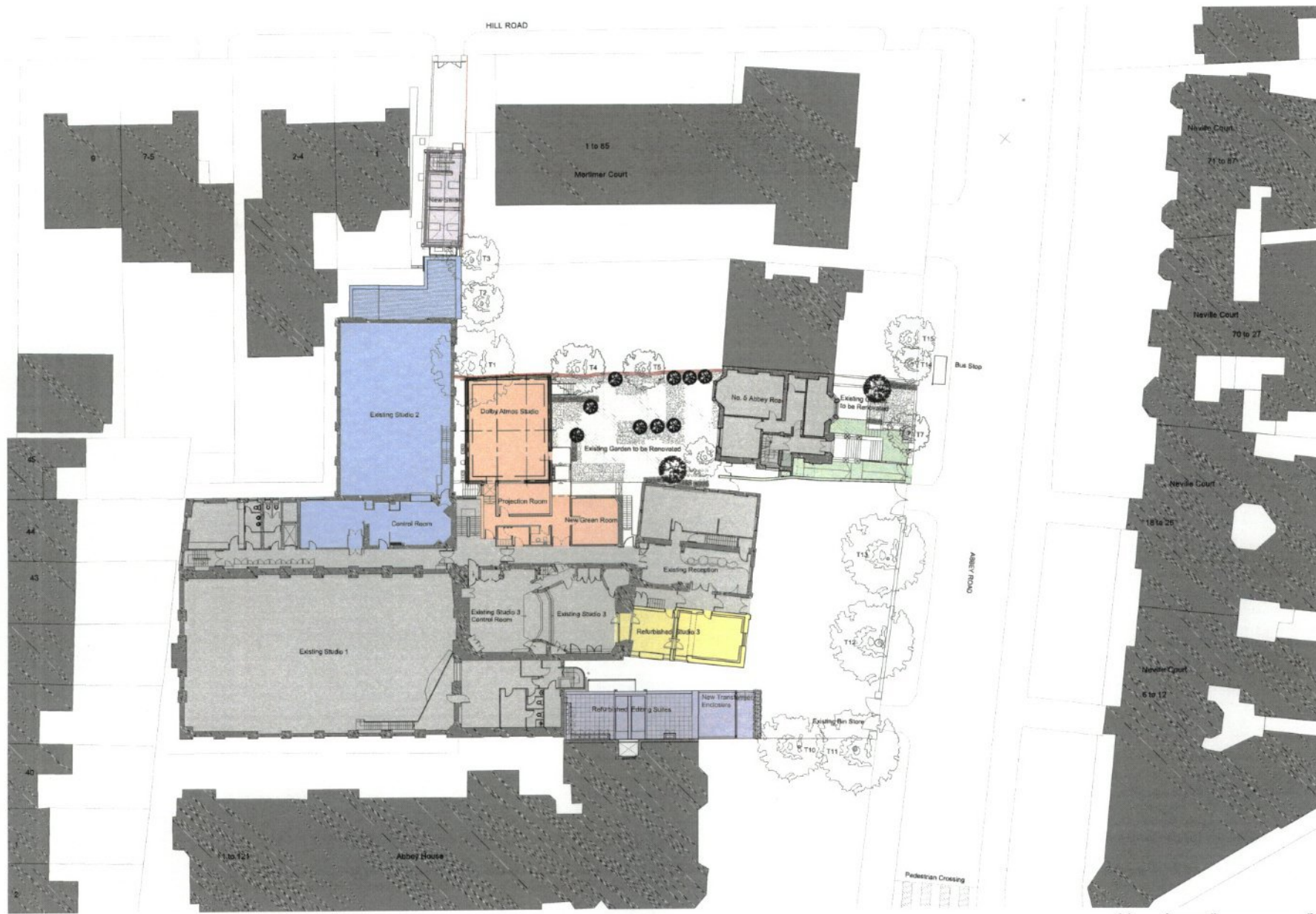
(00)-007

Scale

1:200@A1 / 1:400@A3

Rev

P1



BUILDING LEGEND

- Dolby Atmos Studio (B1)
- Studio 2 (B2)
- Studio 3 (B3)
- The Garage / Outside Broadcast Studio facing on to Hill Road (B4)
- Retail Shop (B5)
- Editing Suite Transformer Enclosure (B6)
- Existing Buildings

- NOTE:**
1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Berrel Tree Consultants.
 2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
 3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
 4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the MBE aspects of the project.



Aros

Aros Architects
 Jewwood Space
 171 Union Street
 London SE1 0LN

Telephone
 +44(0)20 7928 2444
Facsimile
 +44(0)20 7928 2450

Email
 info@arosarchitects.com
Website
 www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall locate and cut out all their drawings and specifications prior to commencement of work.
4. This drawing supersedes all previous issues of the same drawing, together with an earlier revision sufficient.
5. The Contractor shall immediately inform Aros Ltd of the effect upon the programme and costs of any alterations to the proposed work shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

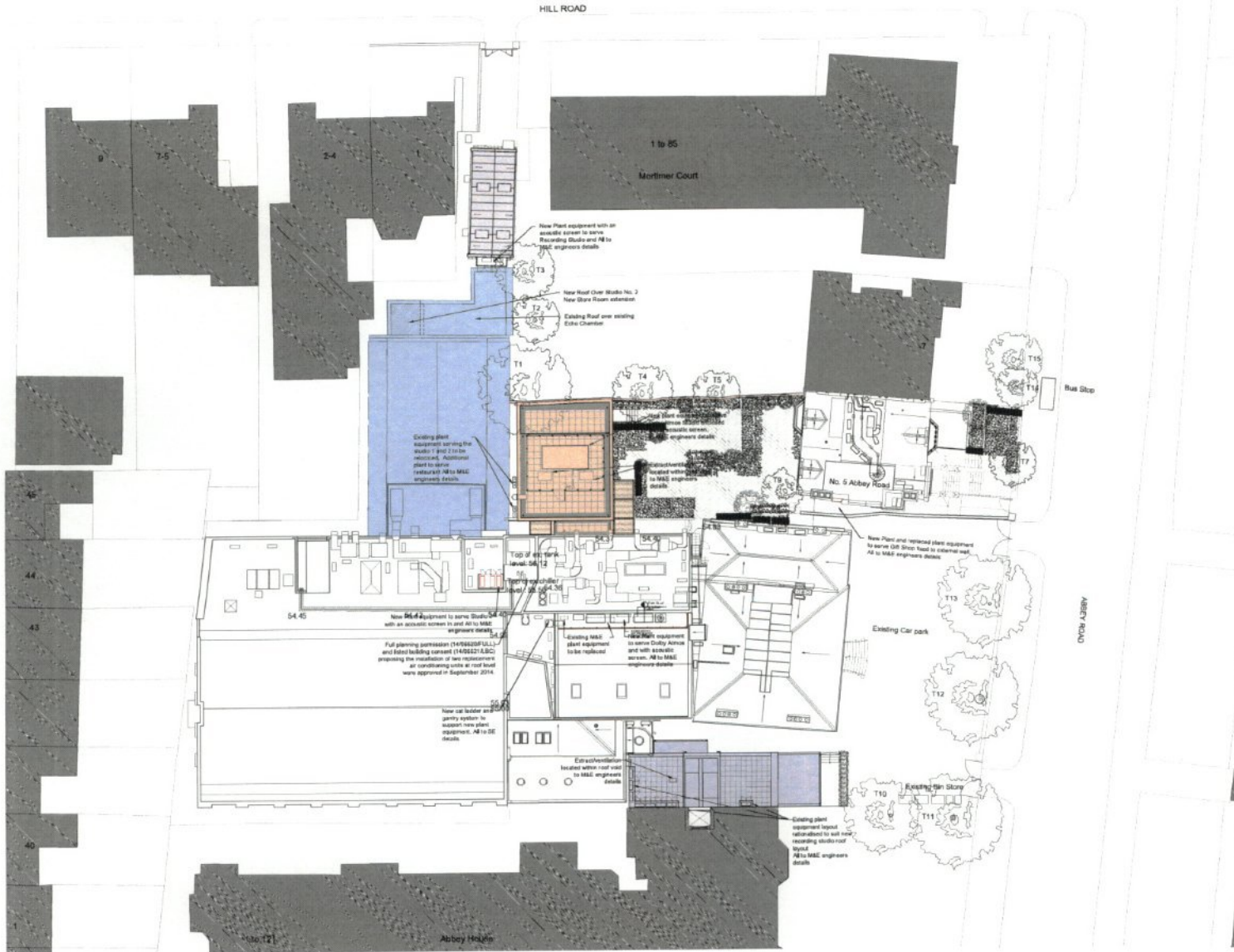
Revisions

No.	Date	Drawn	Checked	Description
P1	15/02/11	RCH	ML	Transformer enclosure revised and Tree numbers clarified

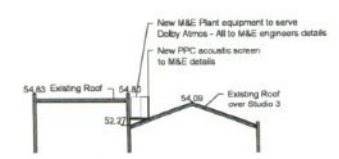
Project
No.3 - 5 Abbey Road Studios
 Title
**No 3 and No. 5 Abbey Road
 Proposed Ground Level Plan**

Project No
5693
 Date
October 2014
 Status
Planning

Drawing No
(00)-008
 Scale
1:200@A1 / 1:400@A3
 Rev
P1



- KEY PLAN**
- BUILDING LEGEND**
- Dolby Atmos Studio (B1)
 - Studio 2 (B2)
 - Studio 3 (B3) ONLY AT LOWER GROUND LEVEL - ROOF NOT EFFECTED BY NEW PROPOSALS
 - The Garage / Outside Broadcast Studio facing on to Hill Road (B4)
 - Retail Shop (B5) ONLY AT LOWER GROUND LEVEL - ROOF NOT EFFECTED BY NEW PROPOSALS
 - Editing Suite Transformer Enclosure (B6)
 - Existing Buildings



- PART ROOF SECTION**
1:200
- NOTE:**
1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Rural Tree Consultants.
 2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
 3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
 4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.



Aros

Aros Architects
Jarwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450
Email
info@arosarchitects.com
Website
www.arosarchitects.com

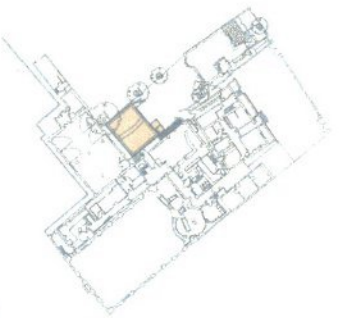
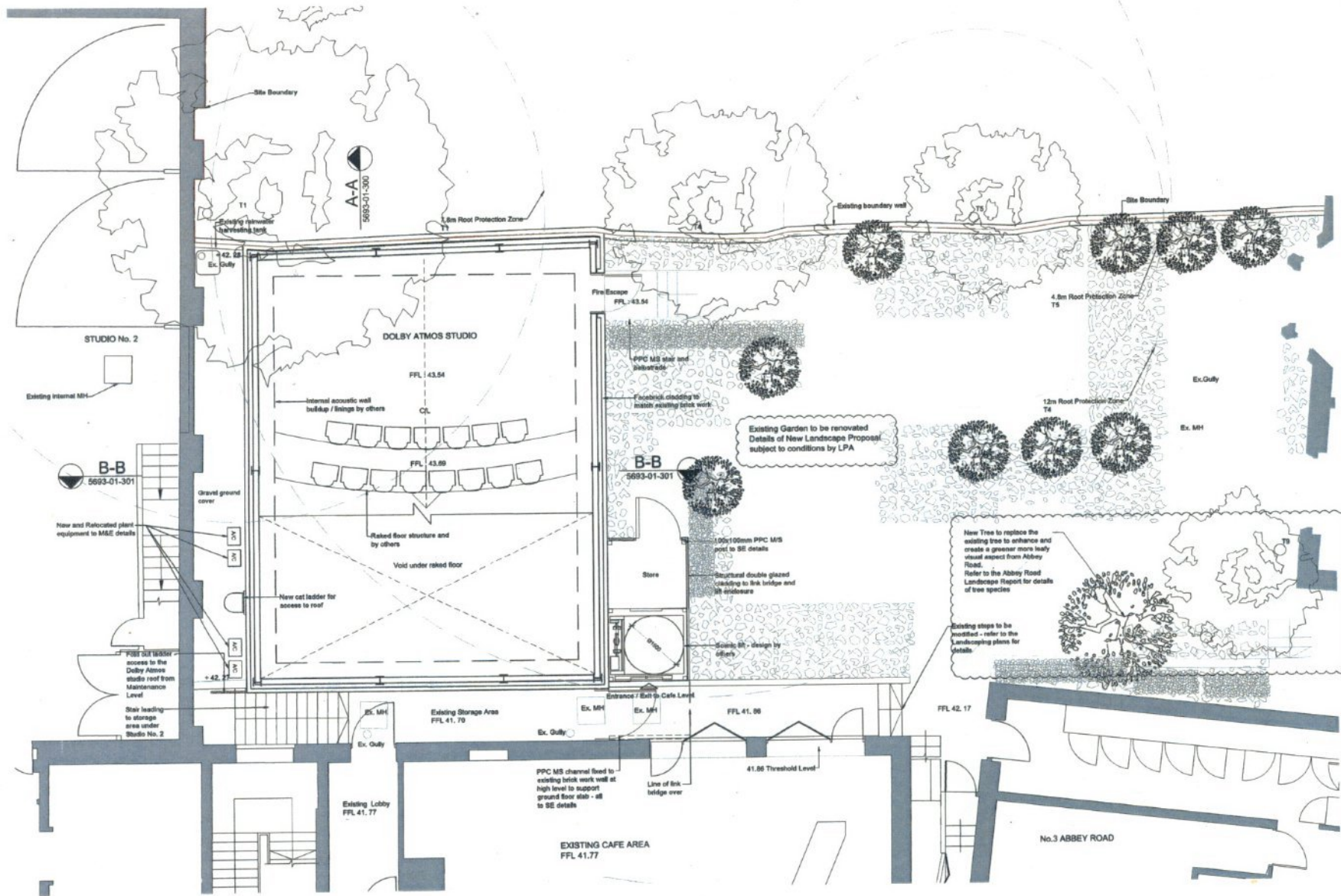
Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd
2. The Contractor shall not rely on any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing supersedes all previous issues of the same drawing number with an earlier revision suffix.
5. The Contractor shall immediately inform Aros Ltd of the effect upon the programme and costs of any alterations to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions

Rev	Date	Drawn	Checked	Description
P1	14/12/18	RCH	CV	Plant Equipment Labelled
P2	14/12/23	CV	CV	Plant Equipment Relabelled
P3	15/10/16	RCH	CV	Plant H&E updated
P4	15/02/11	RCH	ML	Plant equipment revised and acoustic screens added

Project No. 3 - 5 Abbey Road Studios	Project No 5693	Drawing No (00)-009
Title Proposed Roof Plan	Date October 2014	Scale 1:200@A1 / 1:400@A3
	Status Planning	Rev P4



KEY PLAN



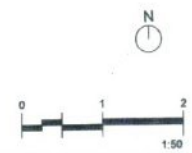
B1 - Dolby Atmos Studio

NOTE:

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statements as prepared by Barrel Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

CASE COPY

TP
RN
ADDRESS



Aros

Aros Architects
Jarwood Space
171 Union Street
London SE1 0LH

Telephones
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, and discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and quantities prior to commencing work.
4. The drawings represent the approved version of the same drawing number with no further revision suffix.
5. The Contractor shall immediately inform Aros Ltd of any errors upon the preparation and issue of any documents to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions

Rev	Date	Drawn	Checked	Description
P1	15/02/09	RCH	HL	Tree T1 and levels clarified
.
.
.

Project
No.3 - 5 Abbey Road Studios

Project No
5693

Title
Dolby Atmos Studio
Proposed Lower Ground Floor Level

Project No
5693

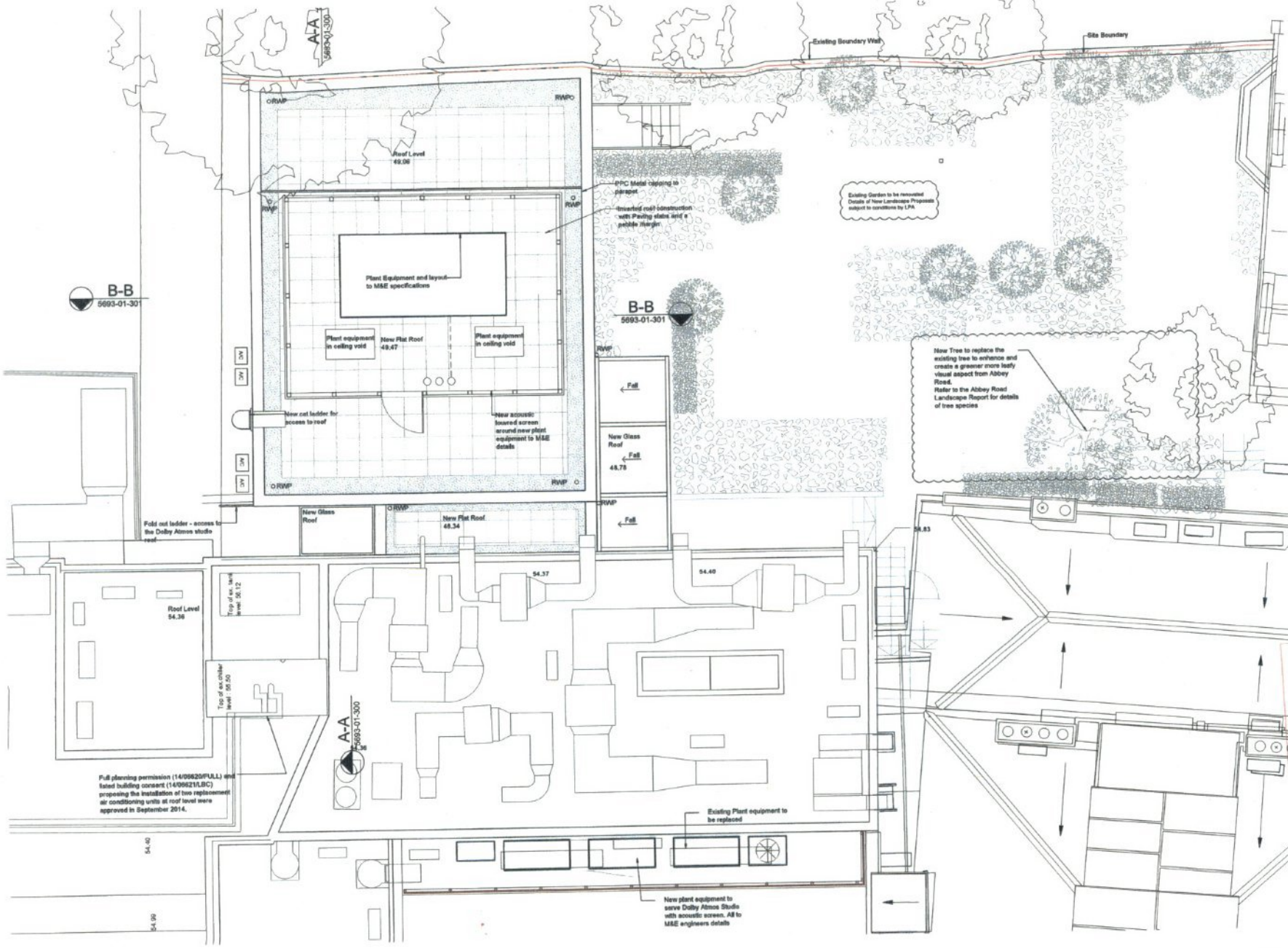
Date
October 2014

Status
Planning

Drawing No
(20)-01-099

Scale
1:50@A1 / 1:100@A3

Rev
P1



KEY PLAN

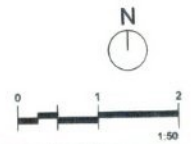


B1 - Dolby Atmos Studio

NOTE:

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Berrill Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 3 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

CASE COPY
 TP
 RN
 ADDRESS



Aros

Aros Architects
 Jerwood Space
 171 Union Street
 London SE1 0LN

Telephone
 +44(0)20 7928 2444

Facsimile
 +44(0)20 7928 2450

Email
 info@arosarchitects.com

Website
 www.arosarchitects.com

- Notes**
1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
 2. All construction shall not vary from details on this drawing without prior approval in writing from Aros Ltd.
 3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
 4. This drawing represents all proposed items of the same drawing number with an earlier revision number.
 5. The Contractor shall immediately inform Aros Ltd of the effect upon the programme and costs of any alterations to the proposed works shown on this drawing.
 6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions				
Rev	Date	Drawn	Checked	Description
1	15/02/09	RCH	ML	Tree T1 clarified and acoustic screen indicated
2				
3				
4				

Project
 No.3 - 5 Abbey Road Studios

Title
 Dolby Atmos Studio
 Proposed Roof Level

Project No
 5693

Date
 October 2014

Status
 Planning

Drawing No
 (20) - 01 - 101

Scale
 1:50@A1 / 1:100@A3

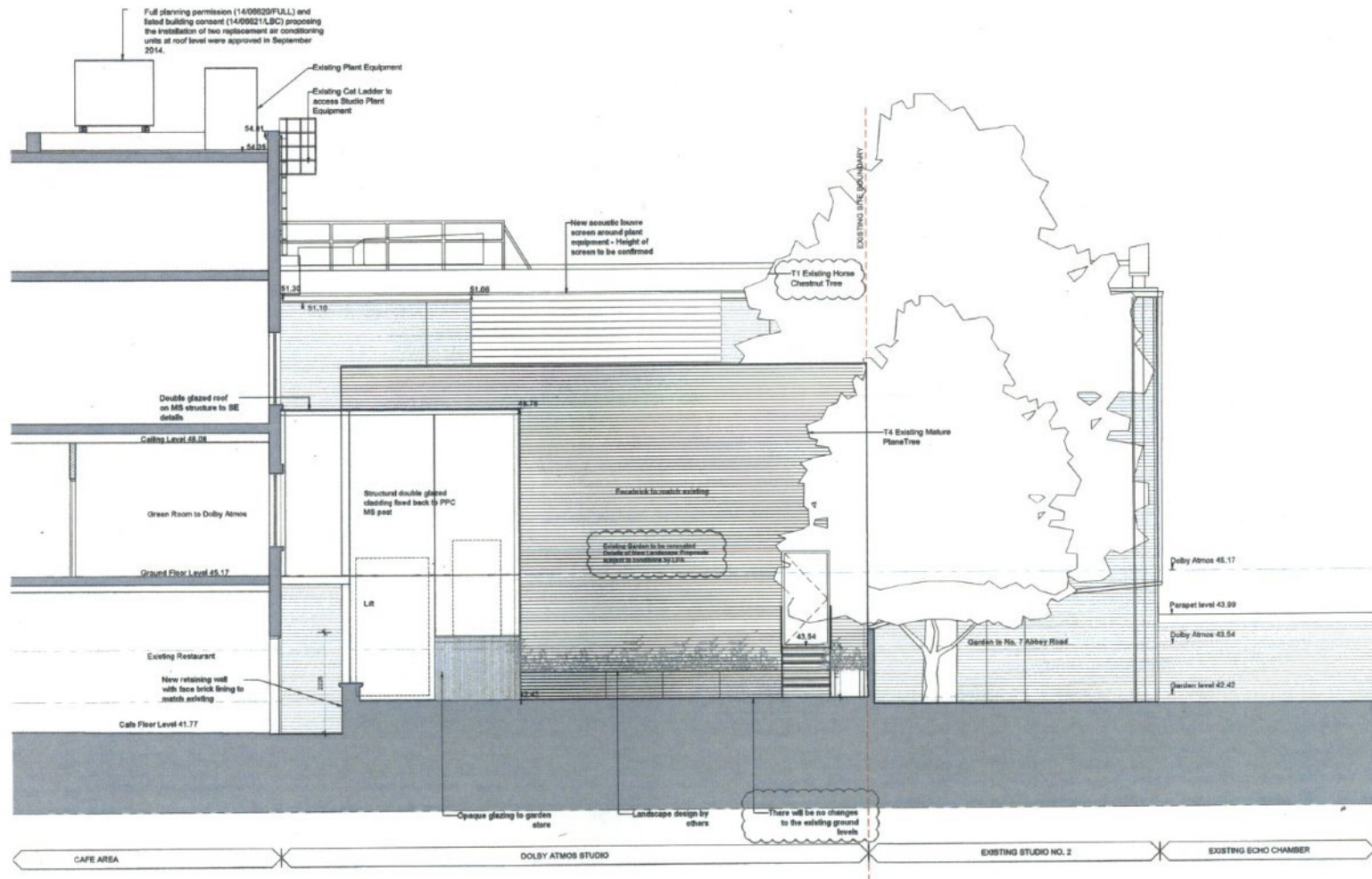
Rev
 P1



KEY PLAN



B1 - Dolby Atmos Studio



NOTE:

1. Drawings should be read in conjunction with the Arboriculture Impact Approval and Method Statement as prepared by Barret Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

CASE COPY
 TP
 RN
 ADDRESS



Aros

Area Architects
 Jarwood Space
 171 Union Street
 London SE1 0LN

Telephone
 +44(0)20 7928 2444
 Facsimile
 +44(0)20 7928 2450

Email
 info@arosarchitects.com
 Website
 www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancy in this drawing are to be reported to Area Ltd
2. The Contractor shall not carry any work shown on this drawing without prior approval in writing from Area Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing represents the structural layout of the above drawing and shall be in accordance with the relevant building regulations.
5. The Contractor shall immediately inform Area Ltd of the effect upon the programme and costs of any alterations to the proposed work shown on this drawing.
6. This drawing is the copyright of Area Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions

No.	Date	Drawn	Checked	Description
P1	06.01.15	RCH	CV	Plant equipment updated
P2	09.02.15	RCH	HL	Trees T1 and ground levels clarified
-	-	-	-	-
-	-	-	-	-

Project
 No.3 - 5 Abbey Road Studios
 Title
 Dolby Atmos Studio
 Proposed North Elevation

Project No
 5693
 Date
 October 2014
 Status
 Planning

Drawing No
 (20) - 01 - 400
 Scale
 1:50@A1 / 1:100@A3
 Rev
 P2



KEY PLAN



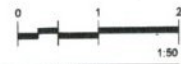
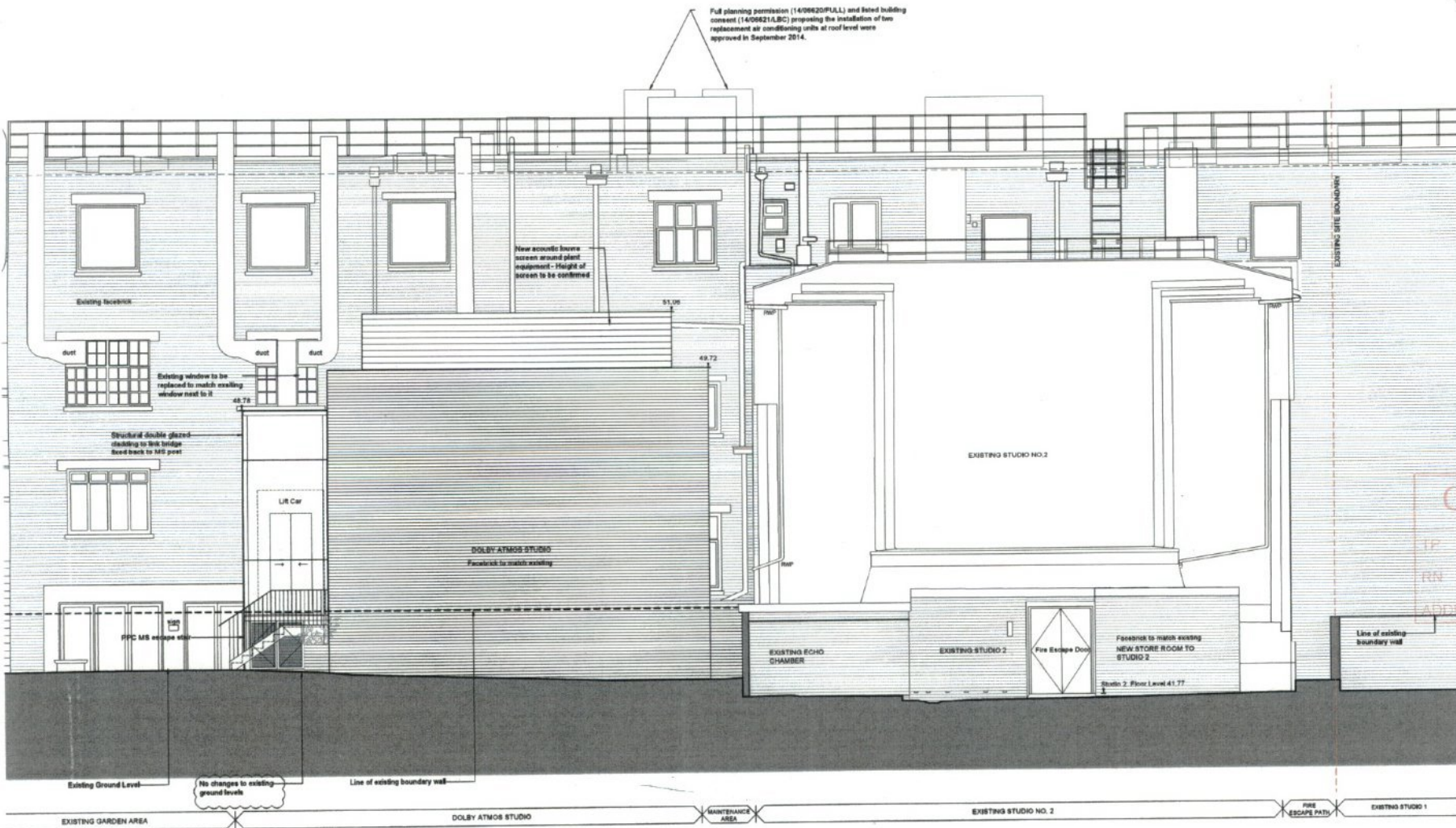
B1 - Dolby Atmos Studio



B2 - Studio No. 2

NOTE:

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barrel Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.



Aros

Aros Architects
 Jerwood Space
 171 Union Street
 London SE1 0LN

Telephone
 +44(0)20 7928 2444
Fax
 +44(0)20 7928 2450

Email
 info@arosarchitects.com
Website
 www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. The drawing represents all previous issues of the same drawing unless otherwise indicated.
5. The Contractor shall immediately inform Aros Ltd of the effect upon the programme and cost of any alterations to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions					
No.	Date	Drawn	Checked	Description	
P1	15/02/09	RCH	ML	Changes to ground levels clarified	
-	-	-	-	-	
-	-	-	-	-	
-	-	-	-	-	

Project
 No.3 - 5 Abbey Road Studios
Title
 Dolby Atmos Studio and Studio No.2
 Proposed West Elevation

Project No
 5693

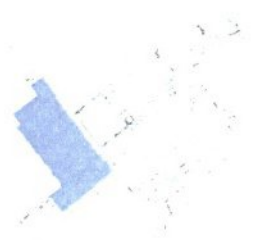
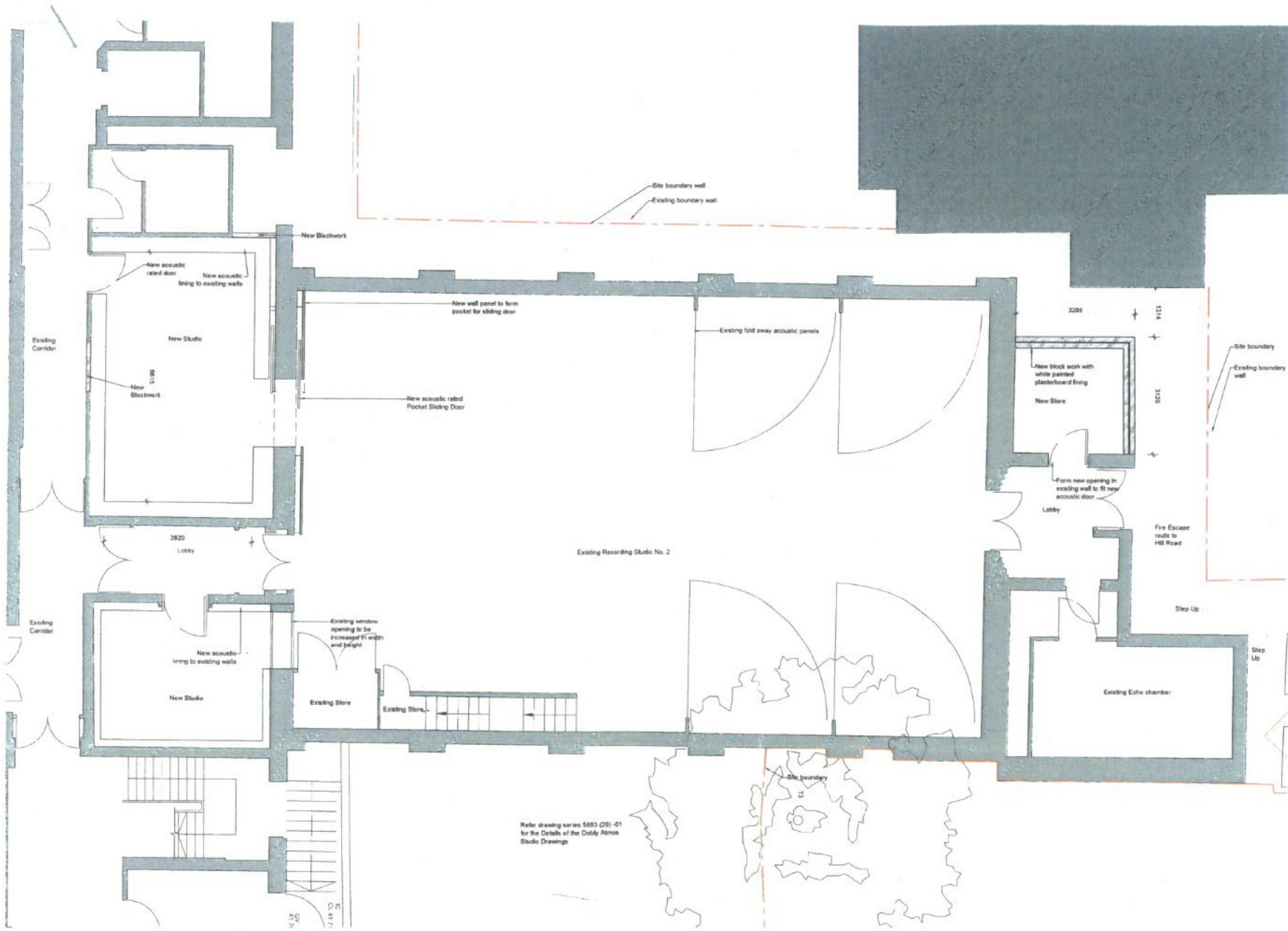
Date
 October 2014

Status
 Planning

Drawing No
 (20) - 01 - 401

Scale
 1:50@A1 / 1:100@A3

Rev
 P1

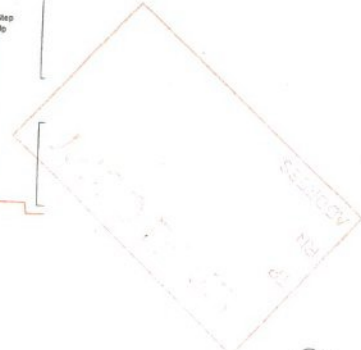


KEY PLAN



B2 - Studio No. 2

Refer drawing series 5083 (D0)-01 for the Details of the Dobby Alms Studio Drawings



Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

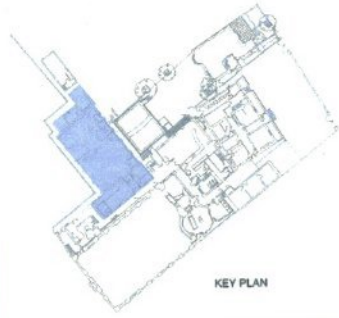
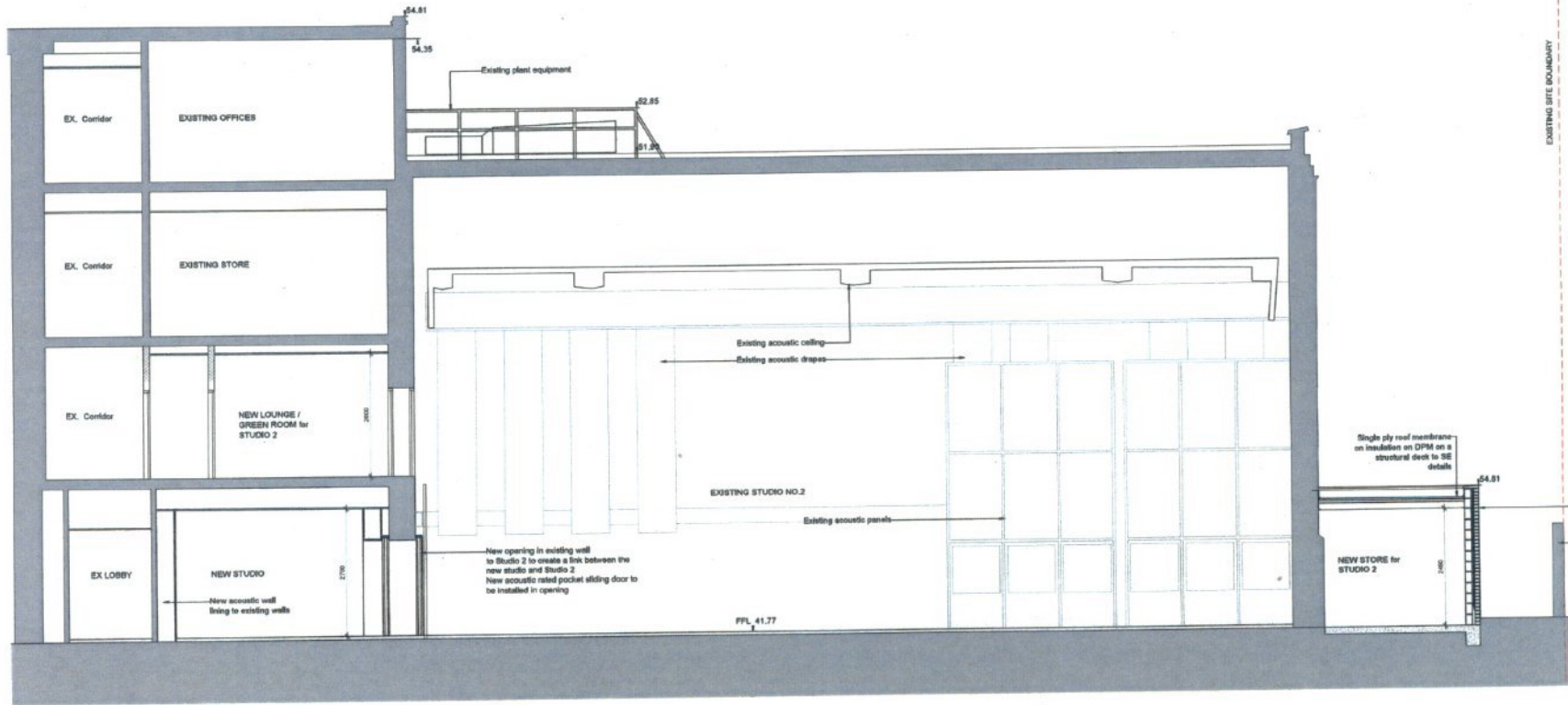
- All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd
- The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd
- The Contractor shall supply a Bill of Materials of all materials and quantities prior to commencement of work
- This drawing supersedes all previous issues of this drawing, drawings numbered with an earlier revision suffix
- The Contractor shall immediately inform Aros Ltd of the effect upon the programme and cost of any alterations to the proposed works shown on this drawing
- This drawing is the property of Aros Ltd and the contents must not be disclosed to other parties without prior agreement

Revisions

Rev	Date	Drawn	Checked	Description
..
..
..
..

Project
No.3 - 5 Abbey Road Studios
Title
Studio No. 2
Proposed Lower Ground Floor Level

Project No	5693	Drawing No	(20) - 02 - 099
Date	October 2014	Scale	1:50@A1 / 1:100@A3
Status	Planning	Rev	/



KEY PLAN



B2 - Studio No. 2

NOTE

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barri Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.



Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450
Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall report a full set of shop drawings and specifications prior to commencement of work.
4. The drawing represents all previous stages of the same drawing marked with an earlier revision only.
5. The Contractor shall immediately advise Aros Ltd of the effect upon the programme and costs of any alterations to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and its contents must not be disclosed to other parties without prior agreement.

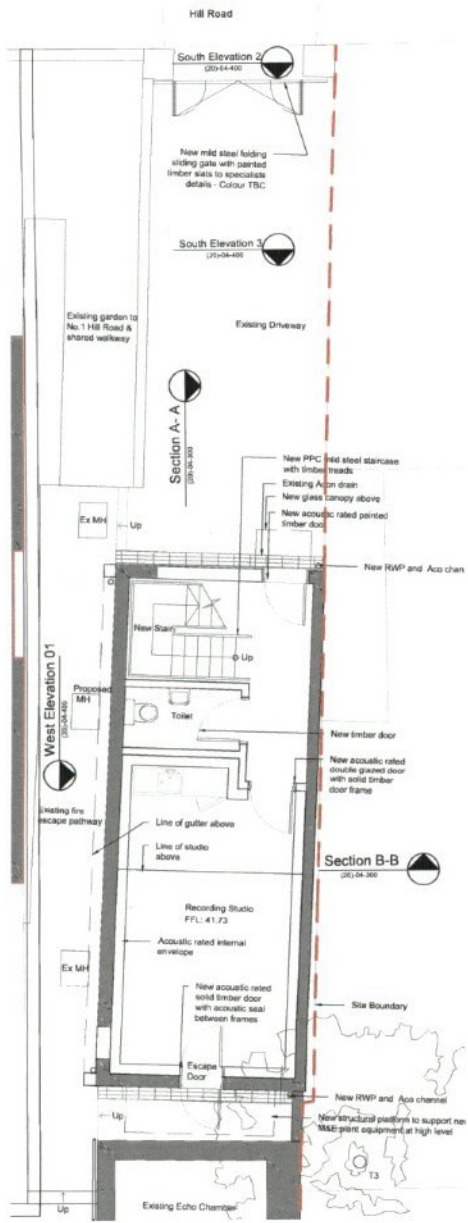
Revisions

Rev	Date	Drawn	Checked	Description
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

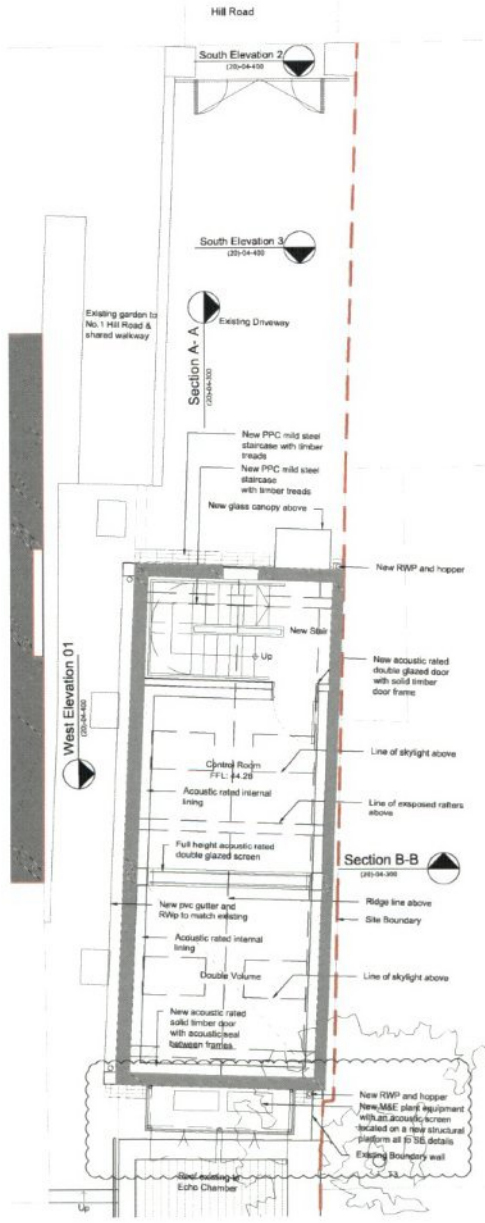
Project
No.3 - 5 Abbey Road Studios
Title
Studio No. 2
Proposed Section A-A

Project No
5693
Project Name
October 2014
Status
Planning

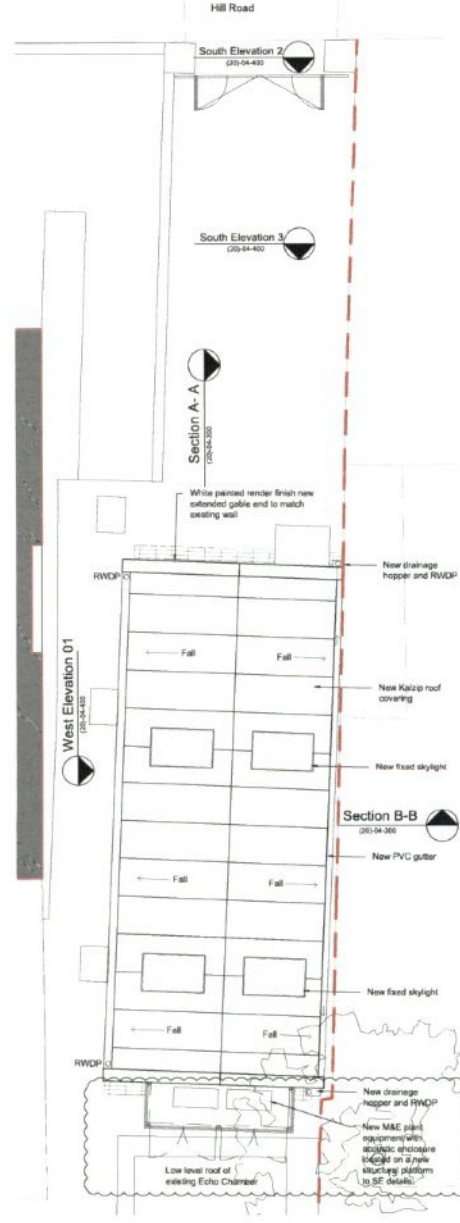
Drawing No
(20) - 02 - 300
Scale
1:50@A1 / 1:100@A3
Rev
/



Lower Ground Floor Plan - Studio No. 4



Ground Floor Plan - Studio No. 4



Roof Plan - Studio No. 4



KEY PLAN



B4 - Garage

NOTE

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barrel Tree Consultants.
2. Refer to the Abbey Road Landscaping Protocols for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing supersedes all previous issues of the same drawing number with an earlier revision suffix.
5. The Contractor shall immediately inform Aros Ltd of the effect upon the programme and cost of any variations to the approved work shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions

No.	Date	Drawn	Checked	Description
PL	15/02/11	RCH	ML	Acoustic screen added

Project
No.3 - 5 Abbey Road Studios

Title
Studio No. 4 - Garage
Proposed Plans

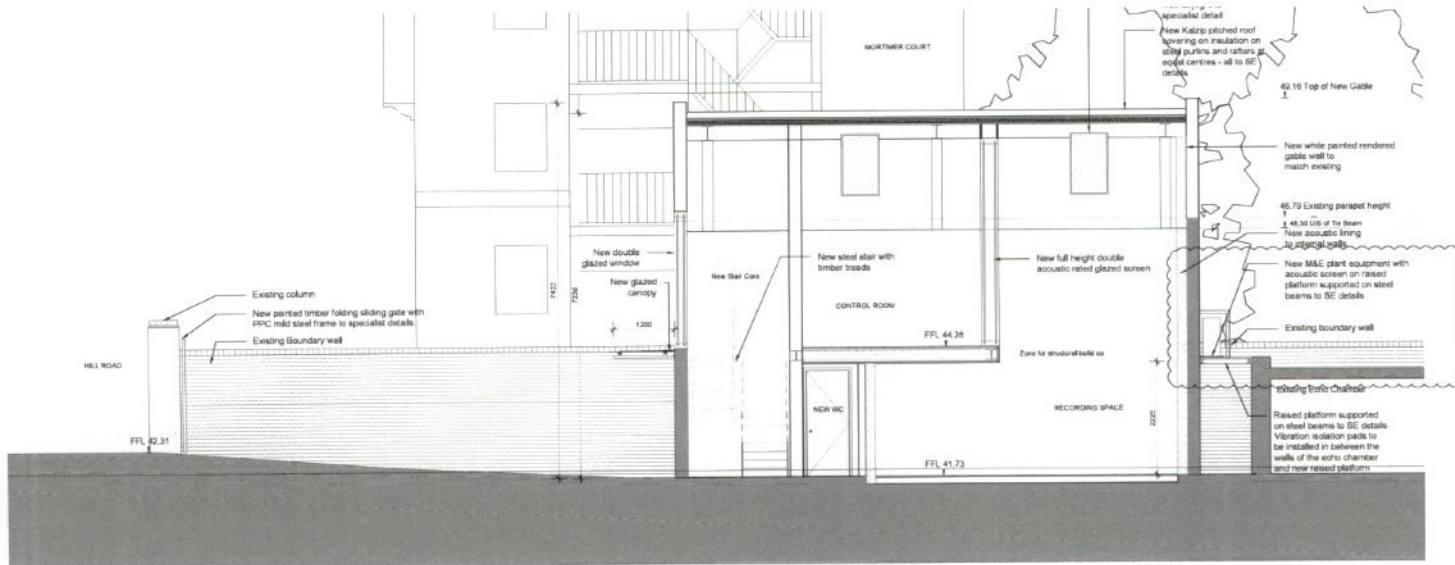
Project No
5693

Date
October 2014
Status
Planning

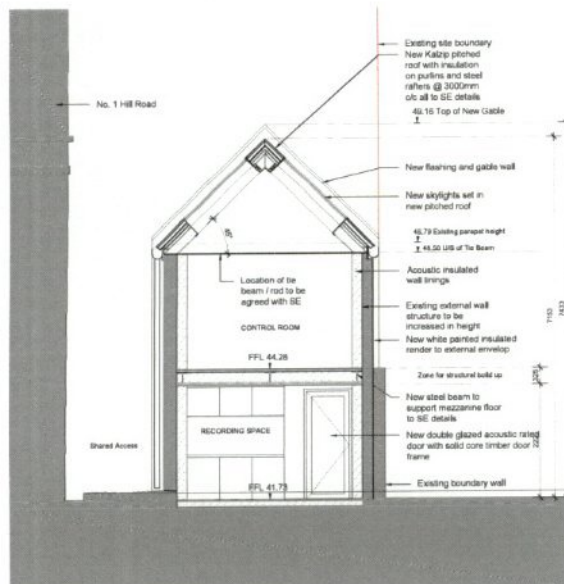
Drawing No
(20) - 04 - 200

Scale
1:50@A1 / 1:100@A3
Rev
P1





Section A-A



Section B-B



KEY PLAN



B4 - Garage

NOTE

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barri Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing supersedes all previous issues of the same drawing, whether with or without revision suffixes.
5. The Contractor shall immediately inform Aros Ltd of the effect upon the programme and costs of any variations to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

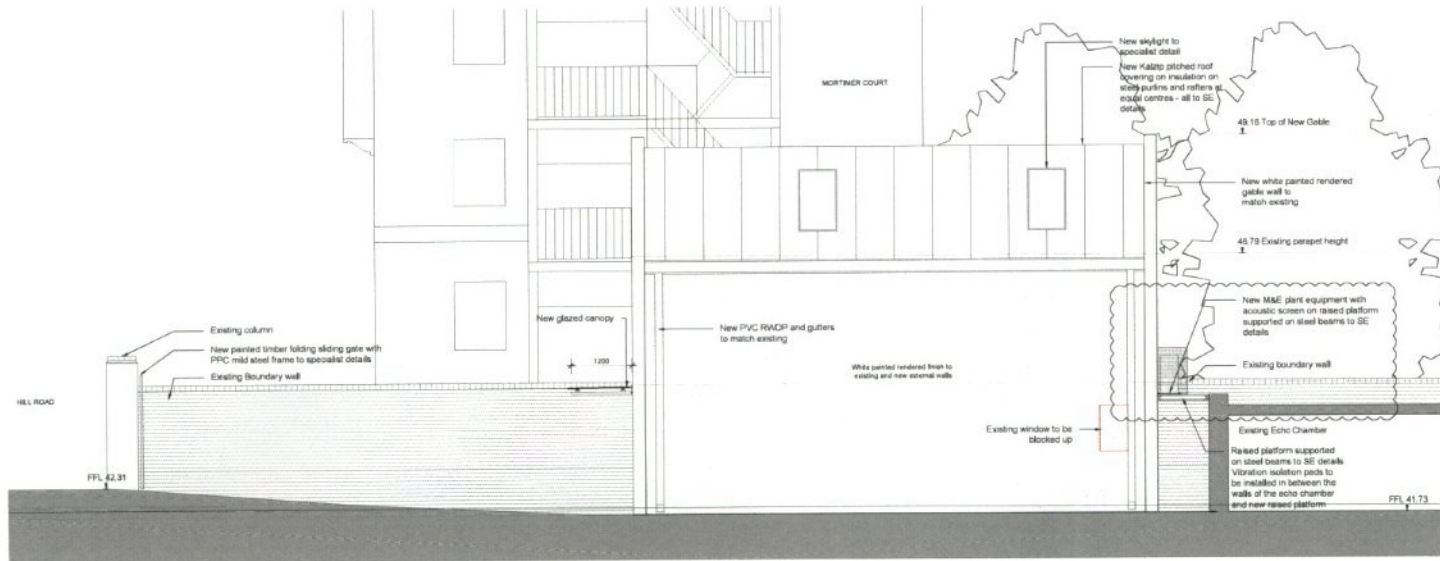
Revisions

Rev	Date	Drawn	Checked	Description
P1	19/02/11	RCH	ME	Acoustic screen added
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

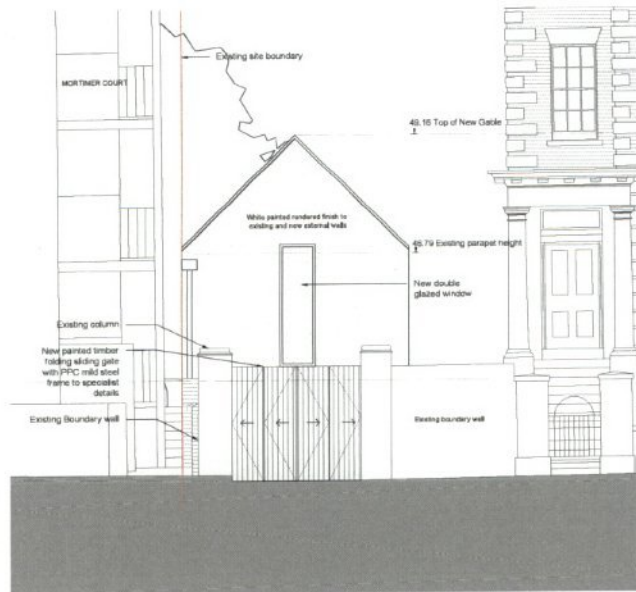
Project
No.3 - 5 Abbey Road Studios
Title
Studio No. 4 Garage
Proposed Section A-A and Section B-B

Project No
5693
Date
October 2014
Status
Planning
Drawing No
(20) - 04 - 300
Scale
1:50@A1 / 1:100@A3
Rev
P1

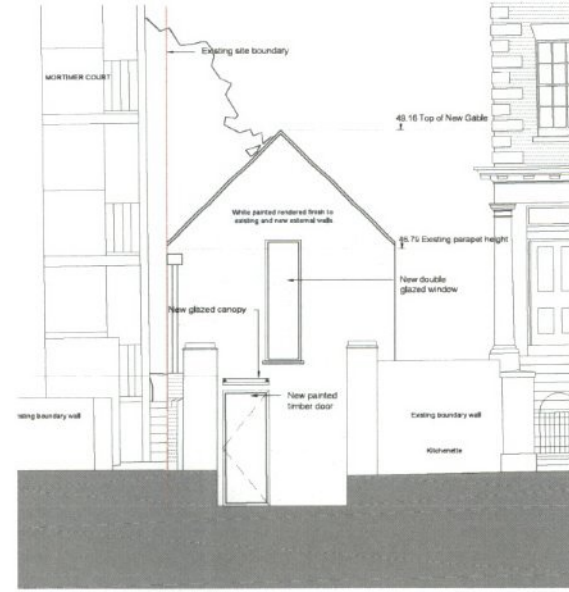




West Elevation 01



Hill Road Elevation 2(South Elevation)



Hill Road Elevation 3 (South Elevation)



KEY PLAN



B4 - Garage

NOTE

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barrel Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancy in this drawing are to be reported to Aros Ltd
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing supersedes all previous issues of this same drawing number with an earlier revision number.
5. The Contractor shall indemnify Aros Ltd of the effect upon the programme and costs of any alterations to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

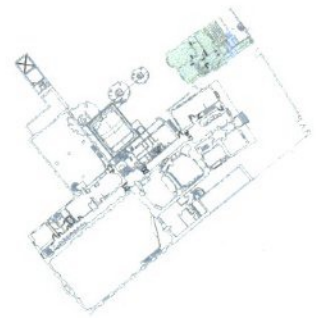
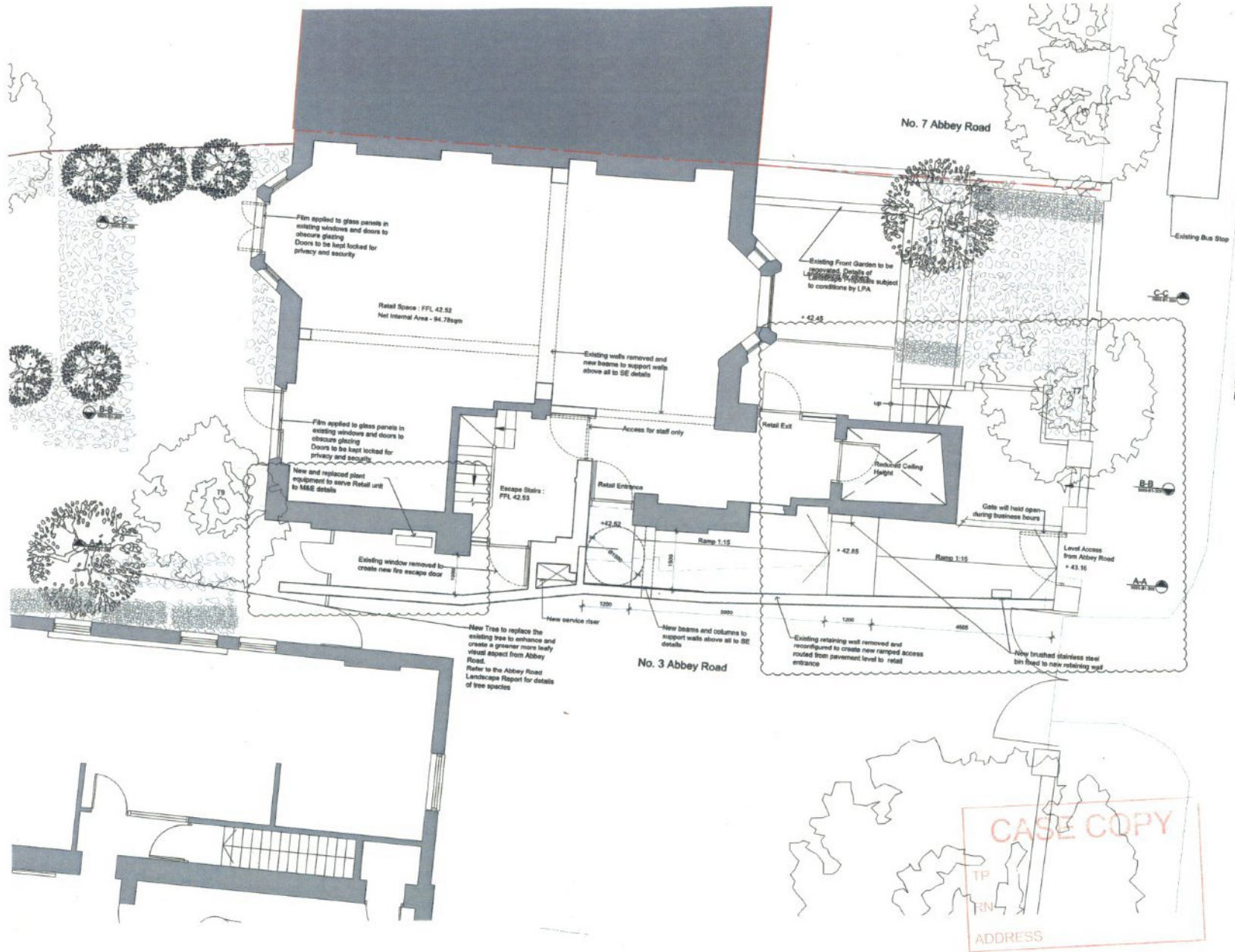
Revisions

No.	Date	Drawn	Checked	Description
R1	15/02/11	RCH	ML	Acoustic screen added

Project
No.3 - 5 Abbey Road Studios
Title
Studio No. 4 Garage
Proposed West and South Elevation

Project No
5693
Date
August 2014
Status
Planning
Drawing No
(20) - 04 - 400
Scale
1:50@A1 / 1:100@A3
Rev
P1





KEY PLAN



B5 - Retail Unit

NOTE:

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barret Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 3 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

CASE COPY
TP
RN
ADDRESS



Aros

Aros Architects
Jerwood Space
121 Union Street
London SE1 0LN

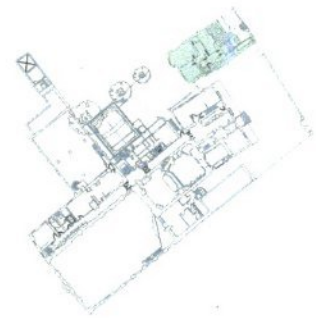
Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450
Email
info@arosarchitects.com
Website
www.arosarchitects.com

- Notes**
1. All dimensions are to be verified by the Contractor on site, any discrepancy in this drawing are to be reported to Aros Ltd.
 2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
 3. The Contractor shall notify Aros Ltd of any changes and modifications prior to commencement of work.
 4. This drawing represents all previous issues of the same drawing together with an earlier revision (if any).
 5. The Contractor shall retain a copy of this drawing for the duration of the project and until the completion of the project.
 6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

Rev	Date	Drawn	Checked	Description
P1	150211	RCH	ML	Balustrades, existing entrance gate and steps revised
.
.
.

Project
No.3 - 5 Abbey Road Studios
Title
Gift Shop - No.5 Abbey Road
Proposed Lower Ground Floor

Project No
S693
Drawing No
(20) - 05 - 099
Date
October 2014
Scale
1:50@A1 / 1:100@A3
Station
Planning
Rev
P1



KEY PLAN



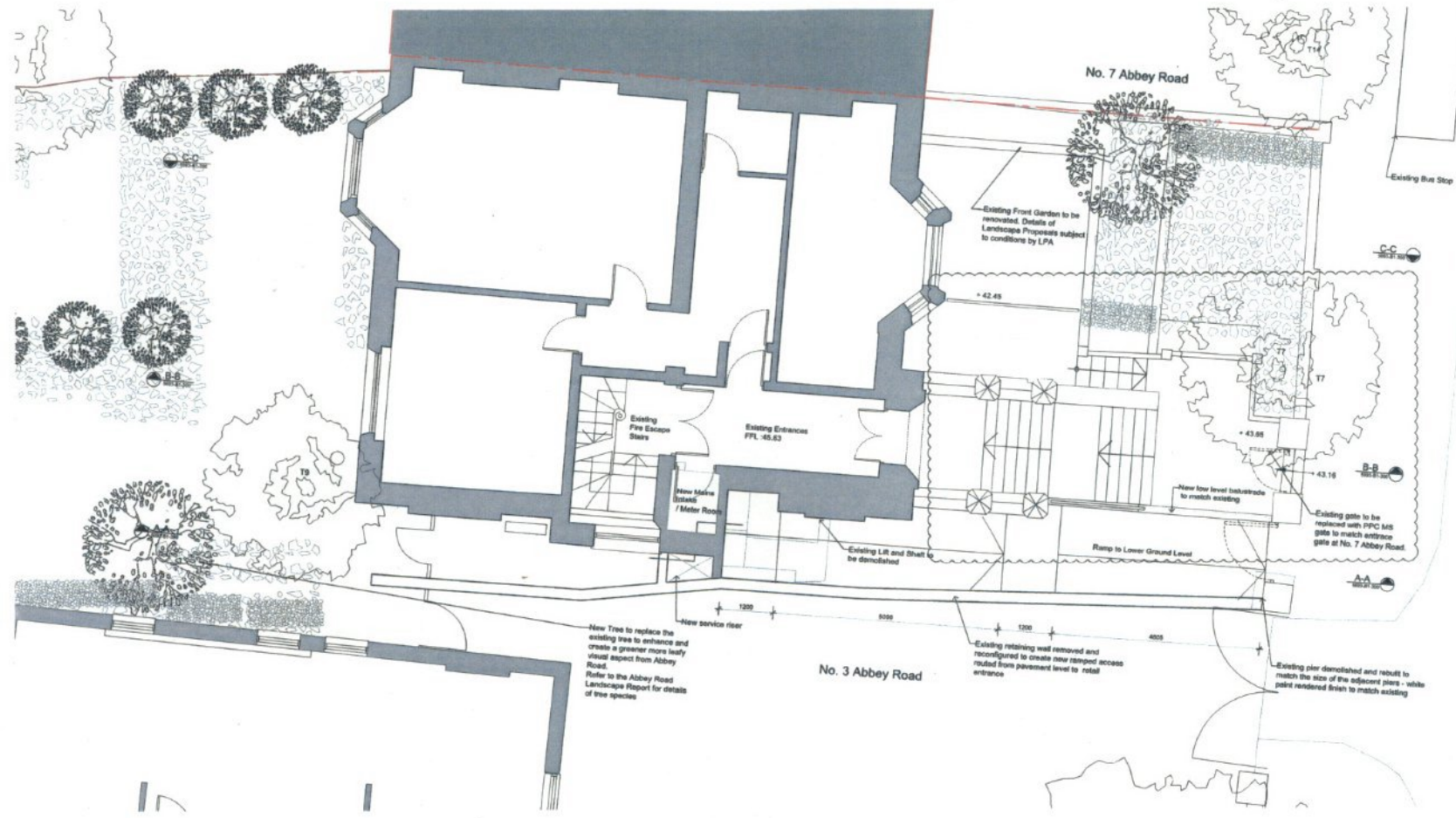
BS - Retail Unit

NOTE:

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barret Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

ABBEY ROAD

CASE COPY
 TP
 RN
 ADDRESS



Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing supersedes all previous issues of the same drawing number with an earlier revision suffix.
5. The Contractor shall immediately inform Aros Ltd of the other upon the programme and each of any alterations to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

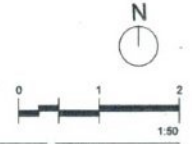
Revisions

Rev	Date	Drawn	Checked	Description
P1	150211	RCH	ML	Substructures, entrance gate and existing steps revised
.
.
.

Project
No.3 - 5 Abbey Road Studios
 Title
GIFT SHOP - No.5 Abbey Road
Proposed Ground Floor Plan

Project No
5693
 Date
October 2014
 Status
Planning

Drawing No
(20) - 05 - 100
 Scale
1:50@A1 / 1:100@A3
 Rev
P1

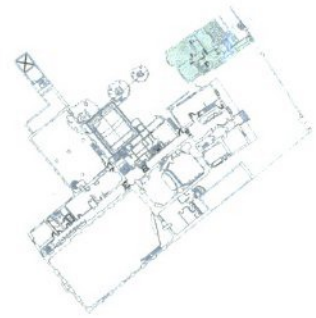


Aros

Aros Architects
 Jerwood Space
 171 Union Street
 London SE1 0LN

Telephone
 +44(0)20 7928 2444
 Facsimile
 +44(0)20 7928 2450

Email
 info@arosarchitects.com
 Website
 www.arosarchitects.com



KEY PLAN



BS - Retail Unit

NOTE:

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barril Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 3 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the MBE aspects of the project.



SECTION A-A

CASE COPY

TP
RN
ADDRESS



Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. This drawing represents the general intent of the same drawing and shall be subject to further revisions.
5. The Contractor shall immediately inform Aros Ltd of the effect upon the programme and costs of any alterations to the completed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

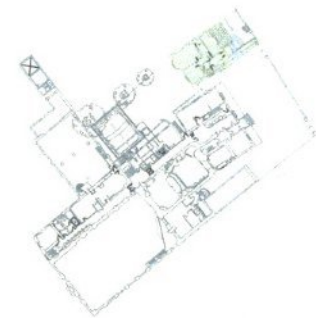
Revisions

Rev	Date	Drawn	Checked	Description
P1	15/02/11	RCH	ML	Balustrade revised to match existing
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

Project
No.3 - 5 Abbey Road Studios
Title
Gift Shop - No.5 Abbey Road
Proposed Section A-A

Project No
5693
Date
October 2014
Status
Planning

Drawing No
(20) - 05 - 300
Scale
1:50@A1 / 1:100@A3
Rev
P1



KEY PLAN



B5 - Retail Unit

NOTE

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barnet Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

CASE COPY

No. 3 ABBEY ROAD - RECORDING STUDIOS No. 5 ABBEY ROAD - NEW RETAIL UNIT No. 7 ABBEY ROAD

ABBEY ROAD ELEVATION

Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0JN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

1. All dimensions are to be verified by the Contractor on site, and discrepancies to this drawing are to be reported to Aros Ltd.
2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall ensure a full set of these drawings and specifications prior to commencement of work.
4. The drawing supersedes all previous issues of this same drawing number with an earlier revision suffix.
5. The Contractor shall immediately inform Aros Ltd of the effect upon the programme and costs of any alterations to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior approval.

Revisions

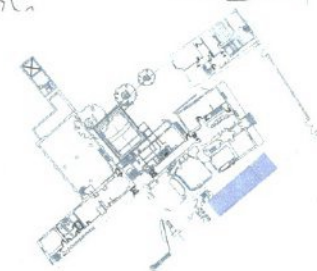
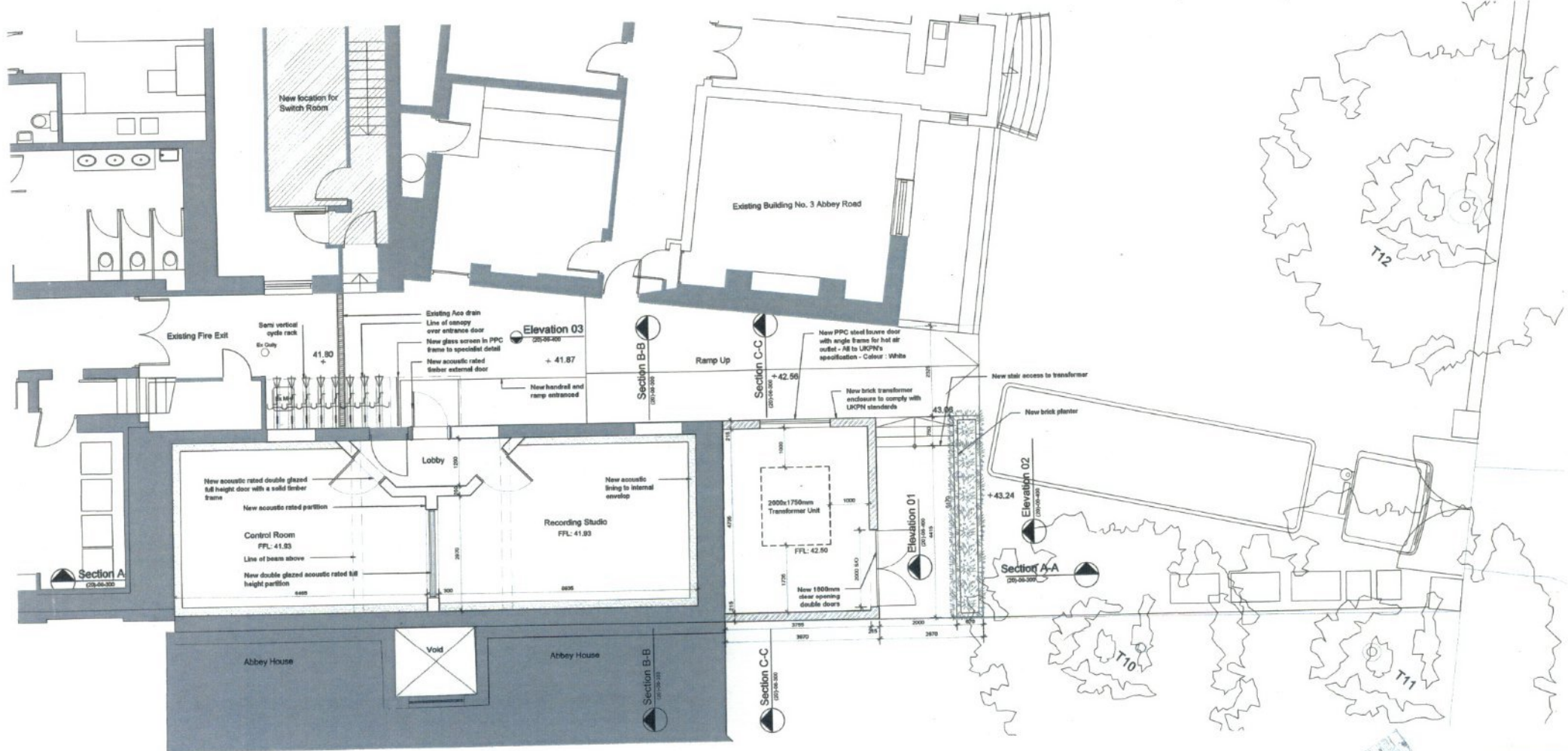
Rev	Date	Drawn	Checked	Description
P1	150211	ROH	ML	Existing gate to No. 5 Abbey Rd revised
.
.
.

Project
No.3 - 5 Abbey Road Studios
Title
Gift Shop - No.5 Abbey Road
Proposed Abbey Road Elevation

Project No
5693
Date
October 2014
Status
Planning

Drawing No
(20) - 05 - 400
Scale
1:50@A1 / 1:100@A3
Rev
P1





B6 - Recording Studio and Transformer Room



- NOTE**
1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barret Tree Consultants.
 2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
 3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 3 Abbey Road.
 4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

CASE COPY

TP
RN
ADDRESS

- Notes**
1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd.
 2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
 3. The Contractor shall comply in full with all shop drawings and specifications prior to commencement of work.
 4. This drawing represents the proposed layout of the same drawing number with an earlier revision suite.
 5. The Contractor shall accordingly refer to 102 of the contract upon the programme and scope of any alterations to the proposed works shown on this drawing.
 6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions					
No.	Date	Drawn	Checked	Description	
P1	04/02/15	RCH	ML	Revised Transformer Enclosure	
-	-	-	-	-	
-	-	-	-	-	
-	-	-	-	-	

Project
No.3 - 5 Abbey Road Studios
Title
Recording Studios and Transformer
Proposed Lower Ground Floor Plan

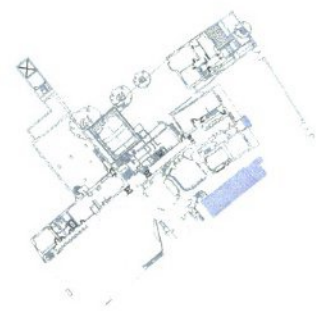
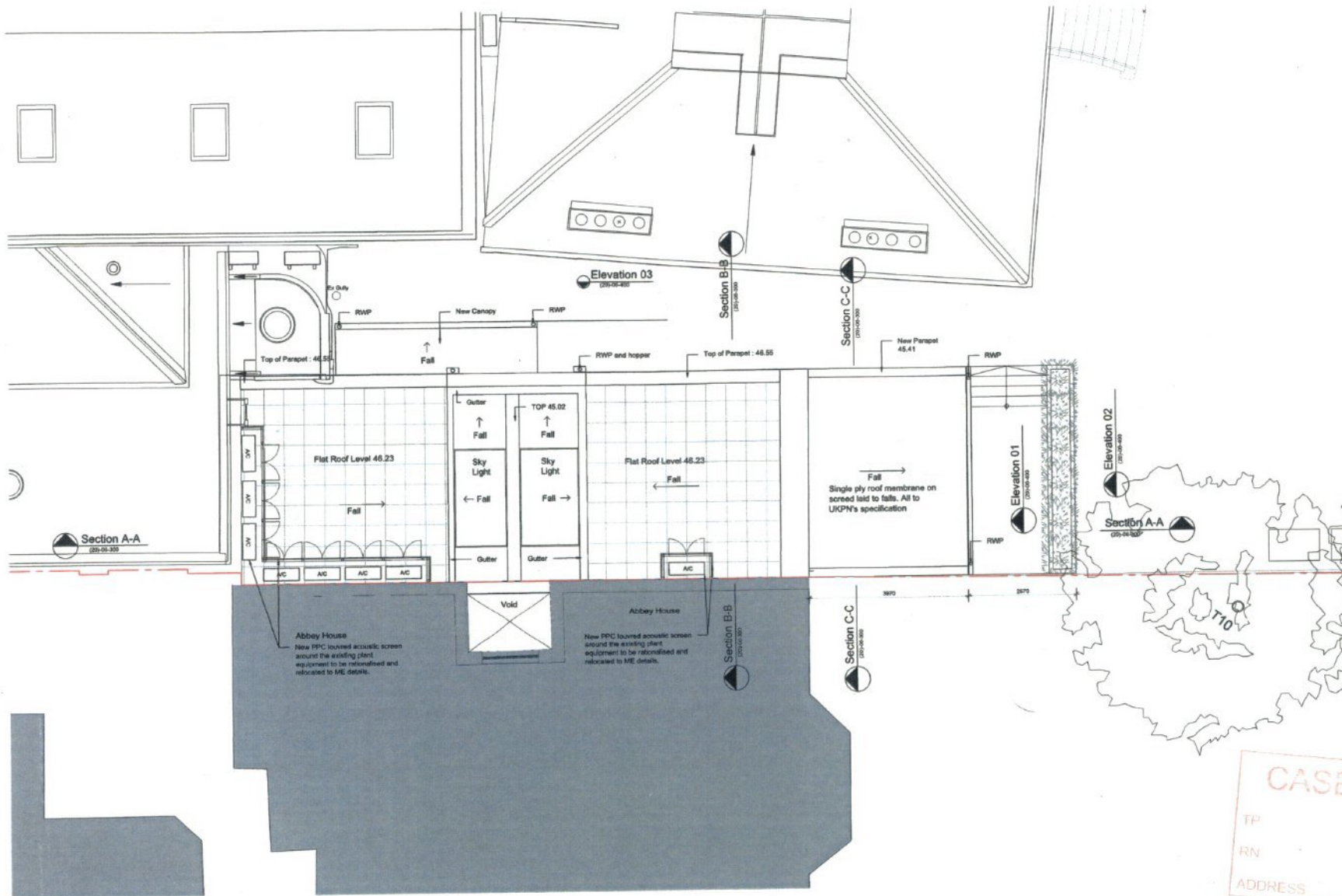
Project No
P1
Drawing No
(20) - 06 - 099
Scale
October 2014
Status
Planning
Rev
P1

Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com



KEY PLAN



B6 - Recording Studio and Transformer Room

- M&E and Plant Equipment:
 M&E refer to the M&E series of drawings for detailed technical information in conjunction with the Arboriculture and Landscaping and Method Statement as prepared by Barred Tree Consultants.
- Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
 - There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
 - Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

CASE COPY

TP
RN
ADDRESS

Aros

Aros Architects
 Jarwood Space
 171 Union Street
 London SE1 0LN

Telephone
 +44(0)20 7928 2444
Facsimile
 +44(0)20 7928 2450

Email
 info@arosarchitects.com
Websites
 www.arosarchitects.com

- Notes**
- All dimensions are to be verified by the Contractor on site, any discrepancy in this drawing are to be reported to Area Ltd
 - The Contractor shall not vary any work shown on this drawing without prior approval in writing from Area Ltd.
 - The Contractor shall notify a ME set of shop drawings and specifications prior to commencement of work.
 - This drawing supersedes all previous issues of the same drawing number with an earlier number suffix.
 - The Contractor shall immediately inform Area Ltd of the effect upon the programme and costs of any alterations to the proposed works shown on this drawing.
 - This drawing is the copyright of Area Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions					
No.	Date	Drawn	Checked	Description	
P1	06.01.15	RCH	CV	Plant equipment layout updated	
P2	04.02.15	RCH	ML	Transformer Enclosure	
-	-	-	-	-	
-	-	-	-	-	

Project
 No.3 - 5 Abbey Road Studios

Title
 Recording Studios and Transformer
 Proposed Roof Plan

Project No
 5693

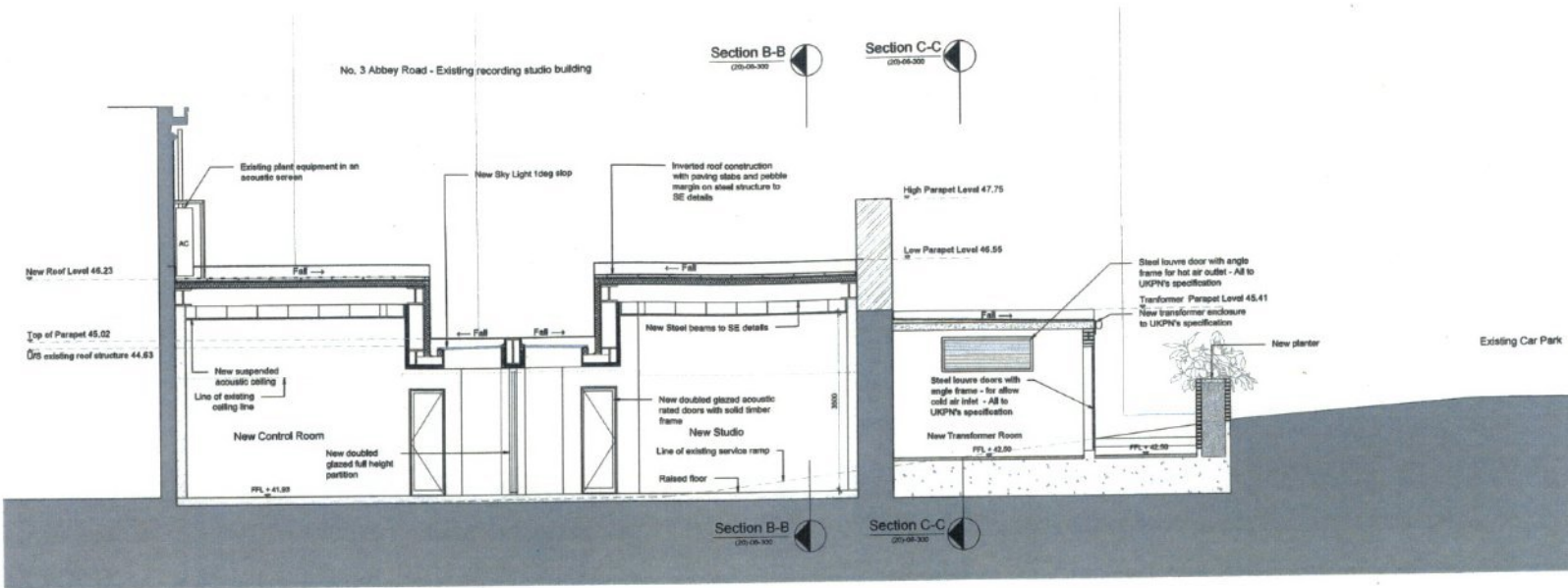
Date
 October 2014

Status
 Planning

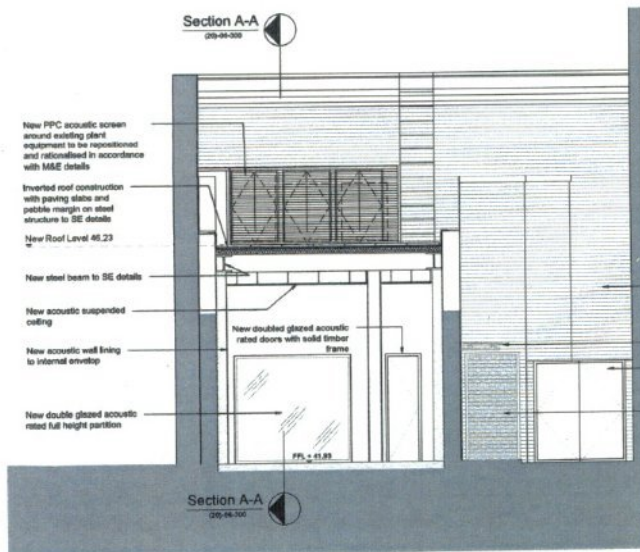
Drawing No
 (20) - 06 - 100

Scale
 1:50@A1 / 1:100@A3

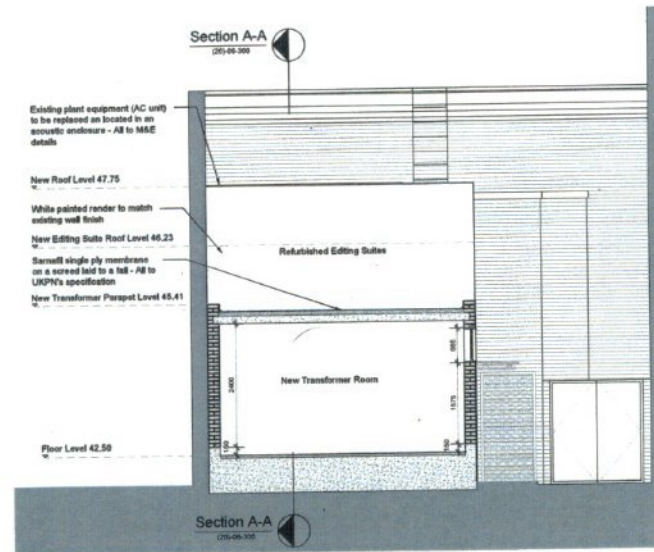
Rev
 P2



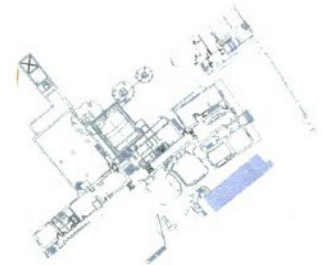
Section A-A
1:50



Section B-B
1:50



Section C-C
1:50



KEY PLAN



B-B - Recording Studio and Transformer Room

NOTE:

1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barrel Tree Consultants.
2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 3 Abbey Road.
4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and information relating to the M&E aspects of the project.

CASE COPY
TP
RN
ADDRESS



Aros

Aros Architects
Jerwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

Notes

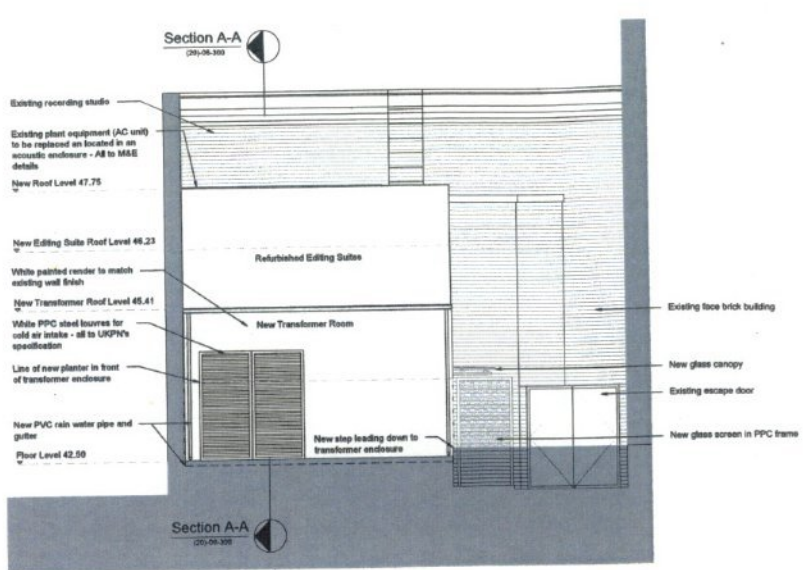
1. All dimensions are to be verified by the Contractor on site, any discrepancies in this drawing are to be reported to Aros Ltd
2. The Contractor shall not rely on any work shown on this drawing without prior approval in writing from Aros Ltd.
3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
4. The drawing represents all previous issues of this same drawing number with an earlier revision number.
5. The Contractor shall coordinate with Aros Ltd of the effect upon the programme and costs of any alterations to the proposed works shown on this drawing.
6. This drawing is the copyright of Aros Ltd and this content must not be disclosed to other parties without prior agreement.

Revisions

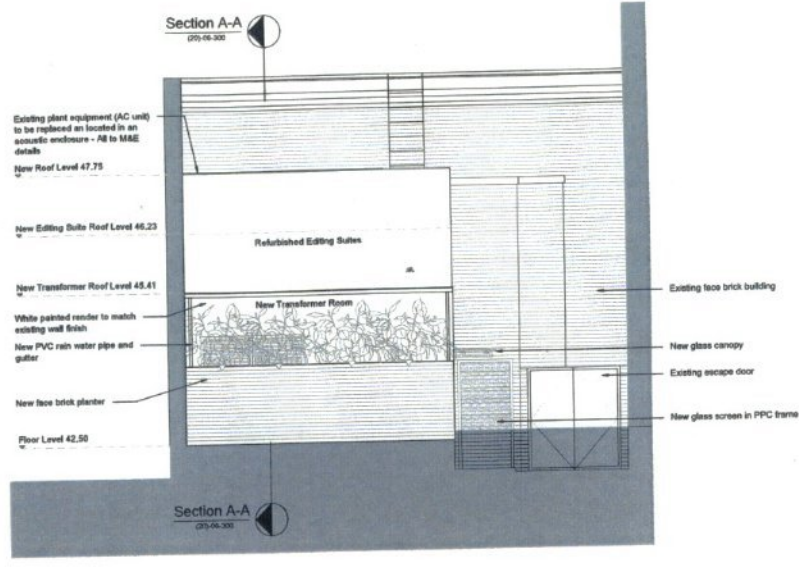
No.	Date	Drawn	Checked	Description
P1	05.01.15	RCH	CV	Plant equipment added to elevations
P2	06.01.15	CV	ML	Plant equipment updated
P3	09.02.15	RCH	-	Revised Transformer Enclosure
-	-	-	-	-

Project
No.3 - 5 Abbey Road Studios
Title
Recording Studios and Transformer
Proposed Sections A-A, B-B, C-C

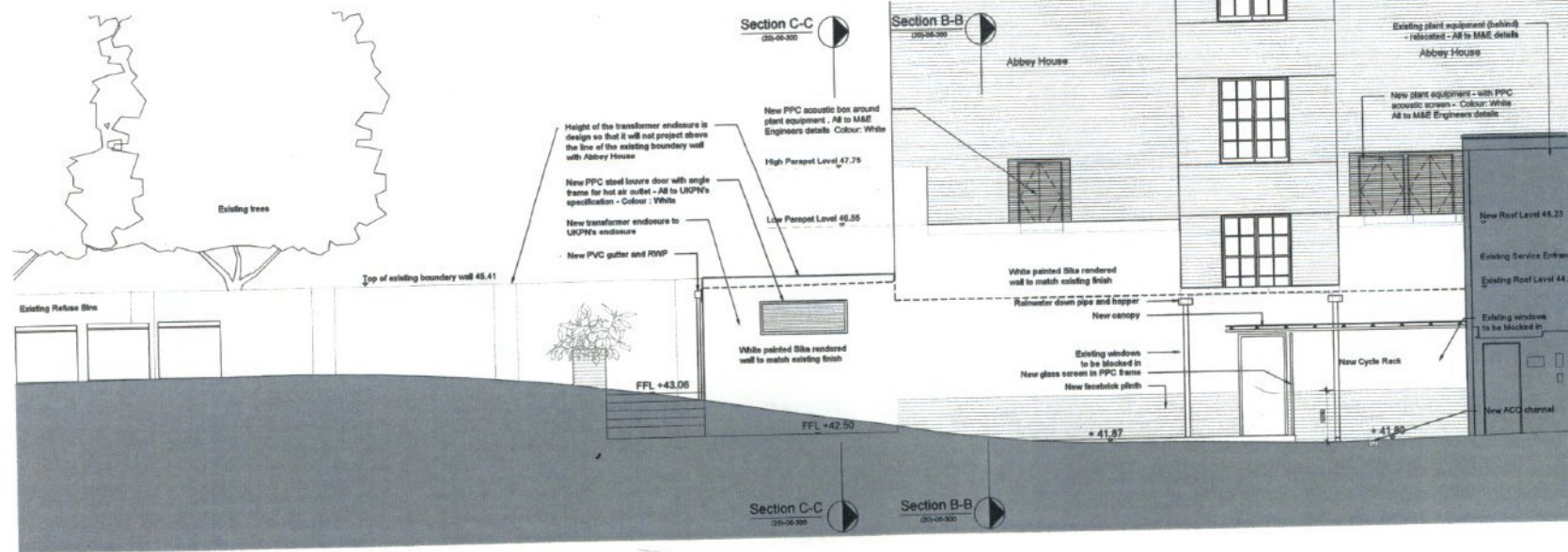
Project No
5693
Drawing No
(20) - 06 - 300
Date
October 2014
Status
Planning
Scale
1:50@A1 / 1:100@A3
Rev
P3



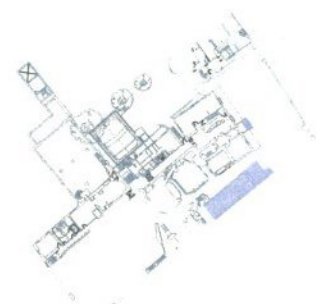
ELEVATION 1
1:50



ELEVATION 2
1:50



ELEVATION 3
1:50



KEY PLAN



B6 - Recording Studio and Transformer Room

- NOTE:**
1. Drawings should be read in conjunction with the Arboriculture Impact Appraisal and Method Statement as prepared by Barrel Tree Consultants.
 2. Refer to the Abbey Road Landscaping Proposals for the latest Landscaping concept drawings.
 3. There will be NO changes to the Existing Ground Levels in the Courtyard and to the Front Garden of No. 5 Abbey Road.
 4. Refer to the Mechanical and Engineering and Acoustic Reports and Drawings for the technical specifications and informative relating to the M&E aspects of the project.

CASE COPY

TP
RN
ADDRESS

Aros

Aros Architects
Jarwood Space
171 Union Street
London SE1 0LN

Telephone
+44(0)20 7928 2444
Facsimile
+44(0)20 7928 2450

Email
info@arosarchitects.com
Website
www.arosarchitects.com

- Notes**
1. All dimensions are to be verified by the Contractor on site, see discrepancies in this drawing are to be reported to Aros Ltd
 2. The Contractor shall not vary any work shown on this drawing without prior approval in writing from Aros Ltd.
 3. The Contractor shall supply a full set of shop drawings and specifications prior to commencement of work.
 4. This drawing supersedes all previous issues of the same drawing revised with an earlier version only.
 5. The Contractor shall immediately inform Aros Ltd of the effect upon the employment and work of any alterations to the proposed works shown on this drawing.
 6. This drawing is the copyright of Aros Ltd and the contents must not be disclosed to other parties without prior agreement.

Revisions					
No	Date	Drawn	Checked	Description	
P1	05.01.15	RCH	CV	Plant equipment shown on elevations	
P2	04.02.15	RCH	ML	Revised transformer enclosure	
P3	06.02.15	RCH	ML	Revised transformer enclosure	

Project No.3 - 5 Abbey Road Studios	Project No 5693	Drawing No (20) - 06 - 400
Title Recording Studios and Transformer Proposed Elevations 1, 2 and 3	Date October 2014	Scale 1:50@A1 / 1:100@A3
	Status Planning	Rev P3